



City of La Vernia
102 E. Chihuahua St.
La Vernia, Texas 78121
CITY COUNCIL MEETING

April 14, 2022
6:30 PM

AGENDA

1. Call to Order

2. Invocation & Pledge of Allegiance

3. Citizens to be Heard

(At this time, citizens who have filled out a registration form prior to the start of the meeting may speak on any topic they wish to bring to the attention of the governing body so long as that topic is not on the agenda for this meeting. Citizens may speak on specific agenda items when that item is called for discussion. During the Citizens to be Heard section no council action may take place and no council discussion or response is required to the speaker. A time limit of three minutes per speaker is permitted; the council may extend this time at their discretion)

4. Consent Agenda

(All consent agenda items are considered routine by City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember requests an item be removed and considered separately.)

- A.** Minutes from the Regular City Council Meeting, March 10, 2022
- B.** La Vernia Police Department – Reports, Traffic Violations & Arrests; and Number of Occurrences by Offense for the month of March
- C.** Check Register and financial report for the month of March

5. Proclamation

- A.** A proclamation to Guadalupe Valley Family Violence Shelter, Inc. declaring April as Domestic Violence Awareness & Prevention
- B.** A proclamation to declare April as the month of Child Abuse Prevention.

6. Presentation

- A.** Presentation from Southwest Engineers on proposed drainage plan

7. Discussion/Action

- A.** Discuss and consider approval of hosting La Vernia Market Days in the City Park
- B.** Discuss and consider approval of a replat at 309 Seguin Rd., Lot 168-169 (lot 1 Blk 19), a 1.464 lot into two lots – one lot that is .519 acres and the other lot being an undeveloped 0.945 acres lot.
- C.** Discuss and consider approval for the replat at 204 King St., LOT 159 (Lot 15 Blk 32) a replat of a 13.101-acre lot, creating three lots – one (1) 0.50-acre lot, one (1) 0.50-acre lot and one 12.101-acre lot.
- D.** Discuss and consider approval of location site for LCRA to install an antenna on City of La Vernia Water Tower located at, 440 Bluebonnet Rd.
- E.** Discuss and consider approval of moving the 4th of July Holiday from Monday to Tuesday, July 5th.
- F.** Discuss and consider approval of 2022-2023 Street Maintenance Project.

- G. Discuss and consider approval of Student Art Downtown Planter Contest.

8. Ordinance

- A. Discuss and consider approval of Ord. No. 041422-01 for a mid-year budget amendment.
- B. Discuss and consider approval of Ord. No. 041422-02 adopting the 2017 National Electric Code, 2018 International Building Code and 2021 International Fire Code.

9. Resolution

- A. Discuss and consider action on approval of Resolution No 041422-01 to contribute matching funds to the Floresville Electric Light and Power System for the 2022 Summer Youth Program.
- B. Discuss and consider approval authorizing execution of advanced funding agreement with the Texas Department of Transportation for the Transportation Alternatives Set-Aside (TASA) Project.
- C. Discuss and consider approval of Resolution 041422-03 appointing a Councilmember for a two-year term as Board of Trustees to Canyon Regional Water Authority (CRWA).
- D. Discuss and consider approval of Resolution 041422-04 appointing a Councilmember for a one-year term as Board of Managers to Canyon Regional Water Authority (CRWA).

10. Update

- A. Update on the 2021-2022 Street Maintenance Project.

11. Items Specific to Future Line Items on the Agenda

12. Adjourn

DECORUM REQUIRED

The City Council for the City of La Vernia reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Open Meetings Act, Texas Governmental Code §551.071 (Consultation with Attorney), §551.072 (Deliberations about Real Property), §551.073 (Deliberations about Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations about Security Devices), and §551.087 (Economic Development), and any other provisions under Texas law that permits a governmental body to discuss a matter in closed executive session.

The City of La Vernia City Council meetings are available to all persons regardless of disability. This facility is wheelchair accessible parking spaces are available. Requests for accommodations, should you require special assistance, must be made 48 hours prior to this meeting. Braille is not available. Please contact the City Secretary at (830) 779-4541 or email bporter@lavernia-tx.gov.

I, Brittani Porter, do hereby certify that the above Notice of Meeting of the governing body of the above named La Vernia City Council is a true and correct copy of said Notice and that I posted true and correct copy of said Notice on the bulletin boards, of the City Hall of said City of La Vernia, Texas, a place convenient and readily accessible to the general public at all times, and said Notice was posted on **April 11, 2022 at 4:30 P.M.** and remained so posted continuously for at least 72 hours proceeding the scheduled time of said meeting.

Signature of Agenda Approval: s/ Brittani Porter
City Secretary



City of La Vernia
102 E. Chihuahua St.
La Vernia, Texas 78121
CITY COUNCIL MEETING

March 10, 2022
6:30 PM

Minutes

1. Call to Order

2. Invocation & Pledge of Allegiance – Councilwoman Hutchinson led the invocation and all in attendance recited the Pledge of Allegiance

3. Citizens to be Heard – no citizens to be heard

4. Consent Agenda

(All consent agenda items are considered routine by City Council and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember requests an item be removed and considered separately.)

- A. Minutes from the ZBOA Meeting, February 1, 2022
- B. Minutes from the Regular City Council Meeting, February 1, 2022
- C. Minutes from the Regular City Council Meeting, February 17, 2022
- D. La Vernia Police Department – Reports, Traffic Violations & Arrests; and Number of Occurrences by Offense for the month of February
- E. Check Register and financial report for the month of February

MOTION: Councilman Poore made a motion to approve the consent agenda with changes submitted to City Secretary, seconded by Councilman Oates. **Motion passes: 5-0.**

5. Discussion Only

- A. Discussion and direction on establishing a K-9 Unit Program within the La Vernia Police Department.

Council liked the agreements set before them and wanted to see a discussion and approval at the next council meeting with a final agreement after legal reviewed and approved.

6. Discussion/Action

- A. Discuss and consider approval of final date for the 4th of July Parade.

MOTION: Councilwoman Recker made a motion to recommend having the parade on the 4th of July, seconded by Councilwoman Hutchinson. **Motion passed: 5-0.**

- B. Discuss and consider approval of transfer on ground lease with CommZoom to Spectrum Gulf Coats in which current agreement will not be changing and remain the same.

MOTION: Councilman Oates made a motion to approve the transfer on ground lease to Spectrum Gulf Coast, seconded by Councilman Gilbert. **Motion passed: 5-0.**

- C. **Discuss and consider approval of purchase with American Rescue Funds for Aerator, recommended by San Antonio River Authority for Waste Water Treatment Plant on River Rd.**

MOTION: Councilman Gilbert made a motion to approve ARF for Aerator, seconded by Councilwoman Recker. **Motion passed: 5-0.**

- D. **Discuss and consider approval of purchase with American Rescue Funds to give City Administrator approval to purchase Generator for City Hall.**

MOTION: Councilman Gilbert made a motion to approve ARF to purchase generator at \$52,800.00, seconded by Councilwoman Hutchinson. **Motion passed: 5-0.**

- E. **Discuss and consider approval on a budget increase of \$10,000 to finish out donated building for Public Works.**
- F. **Discuss and consider approval of award to replace/construct/install the parking lot at City Park, authorizing City Administrator to execute contract with successful bidder.**

MOTION: Councilman Poore made a motion to approve all , seconded by Councilwoman Hutchinson. **Motion passed: 5-0.**

7. Ordinance

- A. **Discuss and consider approval of Ordinance No. 031022-01, Canceling May 7, 2022 General Election**

MOTION: Councilwoman Recker made a motion to approve cancelling the General Election, seconded by Councilman Oates. **Motion passed: 5-0.**

- B. **Discuss and consider approval of Ordinance No. 031022-02, appointing Prosecutor to the City of La Vernia Municipal Court.**

MOTION: Councilwoman Recker made a motion to approve Ord. No. 031022-02, appointing Prosecutor to the City of La Vernia Municipal Court, seconded by Councilwoman Hutchinson. **Motion passed: 5-0.**

8. Resolution

- A. **Discuss and consider approval on Resolution 031022-01, entering into an updated agreement with Wilson County waiving subdivision regulations in the City's ETJ.**

MOTION: Councilman Oates made a motion to approve entering into an updated agreement with Wilson County waiving subdivision regulations in the City's ETJ, seconded by Councilman Gilbert. **Motion passes: 5-0.**

9. Items Specific to Future Line Items on the Agenda

- **K-9**

10. **Adjourn** – Councilwoman Recker made a motion to adjourn the meeting, seconded by Councilwoman Hutchinson. Meeting was adjourned at 7:10 PM and all members were in favor of adjournment.

Robert Gregory, Mayor

ATTEST:

Brittani Porter, City Secretary

La Vernia Police Department
Enforcement Statistics
March 2022

Case Type
Criminal Complaints
Incident

14
65

Total 79

CRIMINAL COMPLAINT - Offense Code

UNAUTH USE MOTOR VEHICLE
POSS DRUG PARA
CRIMINAL MISCHIEF
THEFT
POSS MARIJ
WARRANT ARREST

2
3
1
2
1
5

Total 14

INCIDENT - Offense Code

ACCIDENT INVOLVING DAMAGE TO V
INFO
ALARM
ABANDONED VEHICLE
SUSPICIOUS PERSON/ACTIVITY
ASSIST OTHER AGENCY
ASSIST PUBLIC
EMERGENCY DET
DISTURBANCE
ROAD HAZARD
RECKLESS DRIVER
911 HANGUP
SHOTS FIRED
LOOSE LIVESTOCK
FUNERAL ESCORT

10
12
3
1
13
6
5
3
1
3
3
2
1
1
1

Total 65

Citations

VIOLATIONS
WARNINGS

68
51

Total 119



Bruce Ritchey
Chief of Police

National Sexual Assault Awareness and Prevention Month **PROCLAMATION**

WHEREAS, every 68 seconds another person in the United States is sexually assaulted, and in Texas 2 in 5 women and 1 in 5 men are victims of sexual assault; AND in fiscal year 2021, the Guadalupe Valley Family Violence Shelter rendered 1,135 services to 210 survivors of sexual violence and provided 61 hospital accompaniments for sexual assault exams;

WHEREAS, according to a study conducted by the Texas Association Against Sexual Assault and The University of Texas at Austin Institute on Domestic Violence and Sexual Assault approximately 6.3 million Texans have been sexually victimized;

WHEREAS, most victims are sexually assaulted by someone they know and 91 percent of victims did not report to police;

WHEREAS, it is appropriate to salute the more than 20 Million victims who have survived sexual assault in the United States and the efforts of victims, volunteers, and professionals who combat sexual assault;

WHEREAS, national and community organizations and private sector supporters should be recognized and applauded for their work in promoting awareness about sexual assault;

WHEREAS, police, forensic workers, and prosecutors should be recognized and commended for their hard work and innovative strategies to increase the percentage of sexual assault cases that resolve in the prosecution and incarceration of the offenders;

WHEREAS, sexual violence is a persistent and pervasive problem in our society, one that requires attention year-round and in order to foster healthy communities, all citizens must support the effort to end sexual violence every month of the year; and,

WHEREAS, national and community organizations, businesses in the private sector, and the media are urged, through *National Sexual Assault Awareness* of sexual violence and strategies to decrease the incidence of sexual assault.

NOW, THEREFORE, we the undersigned do hereby proclaim the month of April as “*National Sexual Assault Awareness and Prevention Month*” in The City of La Vernia and all citizens to observe this month by supporting the goals and ideas of victims and those working toward awareness and prevention, and by participating in community efforts.

Presented this 14th day of April, 2022.

City Seal

Robert Gregory, Mayor

Attest:

Brittani Porter, City Secretary



A Proclamation by the Mayor

WHEREAS, nearly 200,000 children in Texas are reported as abused or neglected every year; and

WHEREAS, Child Abuse Prevention is a community responsibility and finding solutions depends on involvement among all people; and

WHEREAS, Communities must make every effort to promote programs that benefit children and their families;

WHEREAS, Effective Child Abuse Prevention programs succeed because of partnerships among agencies, schools, religious organizations, law enforcement agencies, and the business community; and

WHEREAS, everyone in the community should become more aware of Child Abuse Prevention and consider helping parents raise their children in safe, nurturing environment;

NOW, THEREFORE, I, ROBERT GREGORY, MAYOR PRO-TEM, AND THE CITY COUNCIL OF LA VERNIA, do hereby proclaim the month of April 2022 to be Child Abuse Prevention Month in La Vernia, and urge all citizens to work together to help reduce child abuse and neglect significantly in years to come.

In Witness Whereof, I have hereunto set my hand and caused the Great Seal of the City of La Vernia, Texas to be affixed at City Hall in La Vernia this 11th day of April, 2022.

Mayor

City Secretary



**Southwest
Engineers**

Civil | Environmental | Land Development

OVERALL PRELIMINARY DRAINAGE REPORT

FOR

CITY OF LA VERNIA

Prepared For:

LA VERNIA MUNICIPAL DEVELOPMENT DISTRICT
207 W. CHIHUAHUA, SUITE 102
LA VERNIA, TEXAS 78121

Prepared By:

SOUTHWEST ENGINEERS, INC

307 ST. LAWRENCE ST.
GONZALES, TX 78629
P: 830.672.7546 | F: 830.672.2034

205 CIMARRON PARK LOOP
BUDA, TX 78610
P: 512.312.4336 | F: 830.672.2034
www.swengineers.com | TBPE NO. F-1909

APRIL 2022 – GG/PV
SWE Project #: 0200-032-22

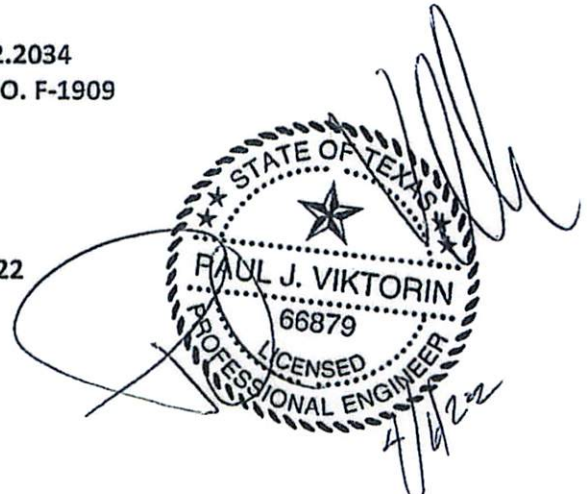


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- A. OVERALL DRAINAGE AREA MAP
- B. ISSUE #1 (H-E-B) - MAP
- C. ISSUE #1 (H-E-B) - COST ESTIMATE
- D. ISSUE #2 (CITY PARK/LA VERNIA ISD) - MAP
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- H. ISSUE #5 (HWY 87 CROSSINGS & CR 342 CROSSING) - MAP
- I. ISSUE #5 (HWY 87 CROSSINGS & CR 342 CROSSING) - COST ESTIMATE



Overall Preliminary Drainage Report for the City of La Vernia

INTRODUCTION

Southwest Engineers, Inc. (SWE) has prepared this Overall Preliminary Drainage Report for the City of La Vernia in order to perform preliminary analyses of existing drainage ways, low-lying areas, and to identify problem areas that are either flooding or prone to flooding. By utilizing data provided by the City, data available through GIS & FEMA, and performing on-site investigations, SWE has identified five (5) problem areas that warrant attention. For each of the problem areas identified, SWE has provided recommendations and probable costs in order to alleviate current drainage issues.

In general, SWE recommends that Wilson County and SS WSC work with or notify La Vernia on future development in the 3 or 4 major watersheds that impact La Vernia to the south. Also, SWE recommends that the city require all development within its ETJ provide detention, especially if stormwater from the property flows into the city limits.

1. H-E-B

- a. Description: Within the frontage of the HEB located on Highway 87, there are 3 – 6' x 3' box culverts crossing Highway 87. During on-site investigations, it was observed that dirt and other debris has collected in these culverts, preventing them from flowing at full capacity. Flows from these culverts are then routed towards a concrete-lined channel which conveys flows around the store and parking lot, without providing detention. Downstream from the concrete-lined channel, stormwater continues through a section with brush and heavy vegetation before converging with another channel and passing through a culvert at FM 1346. Ponding was observed in the concrete-lined channel due to the brush obstructing the flow of stormwater downstream. It is our understanding that there are plans to expand the H-E-B building footprint and parking lot. There is existing 100-yr FEMA Floodplain both upstream and downstream of this location.
- b. Recommendation(s): Cleaning out the 3 – 6' x 3' culverts crossing Highway 87 will allow additional flow through the culvert and assist in reducing existing flooding conditions upstream. Brush should be cleared out downstream of the concrete-lined channel. Detention should be required for any improvements associated with the H-E-B expansion to prevent future flooding issues associated with additional impervious cover. Conversations should be had with City staff regarding the planned development to the south of Highway 87 (upstream from this location), which should be required to provide detention to prevent additional flooding issues. Based on preliminary analysis, it appears that the 3 – 6' x 3' box culverts may



be undersized. It is recommended that the City start a dialogue with the Texas Department of Transportation (TxDOT) about upgrading the culverts at this location.

While these improvements may assist in reducing existing flooding conditions, it is difficult to make recommendations when there is existing 100-yr FEMA Floodplain downstream. Please see the map in *Exhibit B* for reference.

- c. Probable Cost: \$16,400 (See *Exhibit C*)

2. CITY PARK/LA VERNIA ISD

- a. Description: There is a ± 300 -acre drainage area that is conveyed adjacent to La Vernia Primary & Intermediate Schools and through City Park. There are some existing drainage structures through this area, including 2 – 8' x 4' box culverts crossing FM 1346 S, 5 – 24" culverts crossing a private roadway by the school, and a low water crossing over San Antonio Rd. There is an existing water quality/detention pond on the La Vernia ISD property that has a 30" culvert outlet, but it has been observed that only a small amount of stormwater is detained by the pond.
- b. Recommendation(s): It is recommended that a 6'-wide concrete-bottom channel/sidewalk with earthen sides (graded 5:1) be constructed through this area to better define the flow path. It is also recommended that improvements be made to the outlet structure of the existing detention & water quality pond. The improved outlet structure should be able to control the outflow for lower intensity storms. Finally, the low water crossing at San Antonio Rd. should have gauge boards facing either direction if there are currently none. These recommendations complement the perforated piping and catch basin system that is being proposed to the east of the baseball fields. Please see the map in *Exhibit D* for reference.
- c. Probable Cost: \$430,900 (See *Exhibit E*)

3. HIGHWAY 87 CROSSING NEAR W. CHIHUAHUA

- a. Description: Downstream of Issue #2 (after the low water crossing at San Antonio Rd.), stormwater continues generally northeast through multiple properties, before crossing Highway 87 near W. Chihuahua. There are 3 – 6' x 3' box culverts crossing Highway 87 at this location. The length of the channel between the City Park and the Highway 87 crossing is ± 737 LF. During on-site investigations, there was brush and heavy vegetation observed through this channel which prevents the channel from flowing at full capacity. There was also scour/undermining observed at the upstream headwall at the Highway 87 crossing.

Downstream of the Highway 87 crossing, stormwater continues generally northeast through private property. However, there is a lack of a defined channel on the first property downstream of the crossing. A defined channel is apparent on the next property downstream. Most of the area that is related to this issue lies within the 100-yr FEMA Floodplain.

- b. Recommendation(s): It is recommended that the City acquire 25'-wide drainage easements between the low water crossing at San Antonio Rd. and the crossing at Highway 87 (about 737 LF), as well as around the property downstream of the Highway 87 crossing. These easements can be utilized to construct defined channels and clear brush that is obstructing the flow of stormwater. If a channel is constructed downstream of the Highway 87 crossing, fill will likely be required to fill in the existing channel (if any). It is also recommended that the scour/undermining at the headwall be fixed.

While these improvements may assist in reducing existing flooding conditions, it is difficult to make recommendations when there is existing 100-yr FEMA Floodplain downstream. Please refer to *Exhibit F*.

- c. Probable Cost: \$147,700(See *Exhibit G*)

4. WOODBIDGE FARMS UNIT #2 DEVELOPMENT

- a. Description: Multiple sources have brought up flooding concerns within the Country Gardens subdivision. Directly upstream from flooding concerns is the Woodbridge Farms Unit #2 subdivision, which is in the process of being fully developed. Owners of neighboring properties have made complaints about more water coming onto their property since development began. During on-site investigations, observations included significant sediment within channels and pond areas, as well as erosion around headwall structures.
- b. Recommendation(s): Recommendations include for the developer to remove sediment from channels and culvert structures, and to repair erosion issues. A major sediment issue is caused by homebuilders not installing adequate erosion and sedimentation controls. This issue can be improved by creating or increasing requirements for erosion and sedimentation controls installed during the homebuilding phase. Complaints from neighbors about increased stormwater on their property could be related to the detention pond outlet structure not adequately detaining flows. Further study would need to be completed to determine the cause of any particular drainage issues. It is recommended that the developer of the Woodbridge Farms subdivision address these concerns.
- c. Probable Cost: It is recommended that costs be borne by the developer.

5. HIGHWAY 87 CROSSINGS & CR 342 CROSSING

- a. Description: There are two culverts crossing Highway 87 on either side of Wiseman Lane. On the north side, there are 2 – 6' x 3' culverts; on the south side, there are 3 – 6' x 3' culverts. Upstream of the culverts on the northern side, there is a low-lying area that lacks a defined channel. Downstream of the culverts, stormwater is then conveyed towards the east onto private property (between Highway 87 and CR 342). Stormwater from the culverts on the northern side is conveyed east through what appears to be the resemblance of a channel. However, stormwater from the southern side flows east across a field with no defined channel. Flows from both sides eventually converge and are conveyed under CR 342 through a 12' x 5' culvert which is outside of the city limits. Most of the area concerned with this issue lies within the 100-yr FEMA Floodplain.
- b. Recommendation(s): It is recommended that the City acquire drainage easements in the area upstream of the Highway 87 crossings, as well as the area between the crossings at Highway 87 and the crossing at CR 342. Easement acquisition would allow for the construction of a defined channel through these sections. For the area upstream of the Highway 87 crossing, it is recommended that a 6'-wide concrete-bottom channel/sidewalk with earthen sides (graded 5:1) be constructed through this area to better define the flow path. Based on preliminary analyses using Atlas 14 rainfall data, it appears the culverts at both Highway 87 crossings may be undersized. It is recommended that the City start a dialogue with the Texas Department of Transportation (TxDOT) about upgrading the culverts at both of these locations.

In addition, the culvert at CR 342 is also undersized. Calculations show that peak flows at this location are equal to $\pm 1,600$ cfs for the 2-yr storm event, and $\pm 9,400$ cfs for the 100-yr storm event. A significant structure or bridge would be required to have the capacity to handle these flows. Further analysis and discussions with the county would be required before constructing improvements at this location; therefore, no cost estimate has been provided regarding this improvement.

While these improvements may assist in reducing existing flooding conditions, it is difficult to make recommendations when there is existing 100-yr FEMA Floodplain downstream. Please refer to *Exhibit H*.

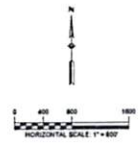
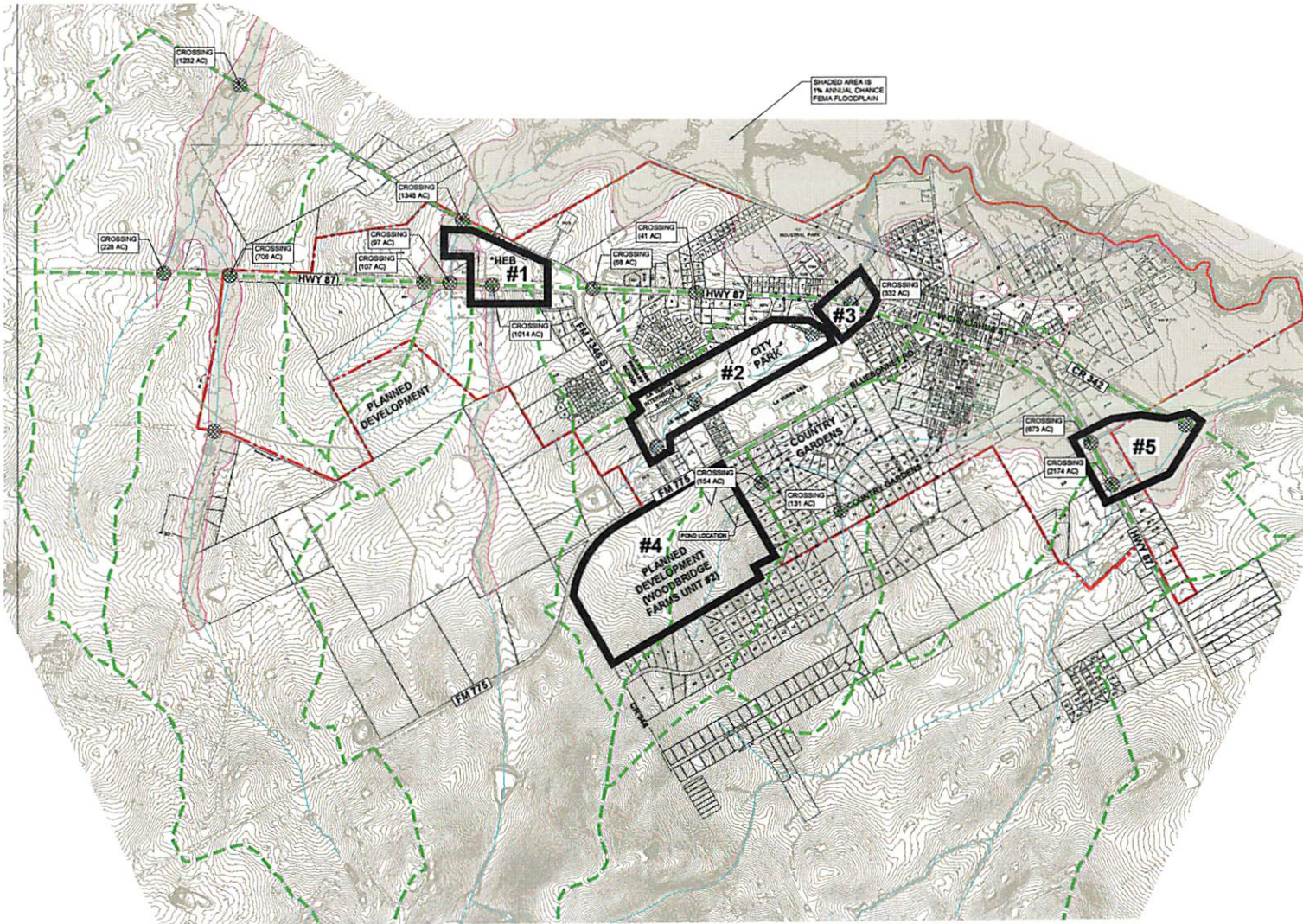
- c. Probable Cost: \$513,400 (See *Exhibit I*)



EXHIBIT A

OVERALL DRAINAGE AREA MAP

© 2022 Southwest Engineers, Inc. All rights reserved. City of La Vernia, Texas. Project No. 2020-032-22. Map Date: 04/05/2022. File: 2020-032-22_Overall Drainage Area Map.dwg. Plot Date: 04/05/2022. Plot Time: 10:00 AM. Plot Scale: 1" = 400'. Plot Orientation: North.



LEGEND	
	CITY LIMITS
	ISSUE AREA
	PROPERTY BOUNDARIES
	EXISTING 2-FT CONTOURS
	CHANNEL CENTERLINE
	DRAINAGE AREA BOUNDARY
	MAJOR CULVERT/CROSSING
	100-YR FEMA FLOODPLAIN

DRAINAGE AREAS CONTINUE
CUT-OFF FOR MAP READABILITY



HEADQUARTERS
301 West Lavaca Street, Georgetown, TX 77626
P: 800-675-7567 F: 979-863-8214

CENTRAL TEXAS
401 Clearview Park Loop, Ste. B, Buda, TX 78610
P: 302-304-4237

EXHIBIT A - OVERALL DRAINAGE AREA MAP

CITY OF LA VERNIA

WARNING
IF THIS BAR DOES NOT MEASURE 1" - THE DRAWING IS NOT TO SCALE

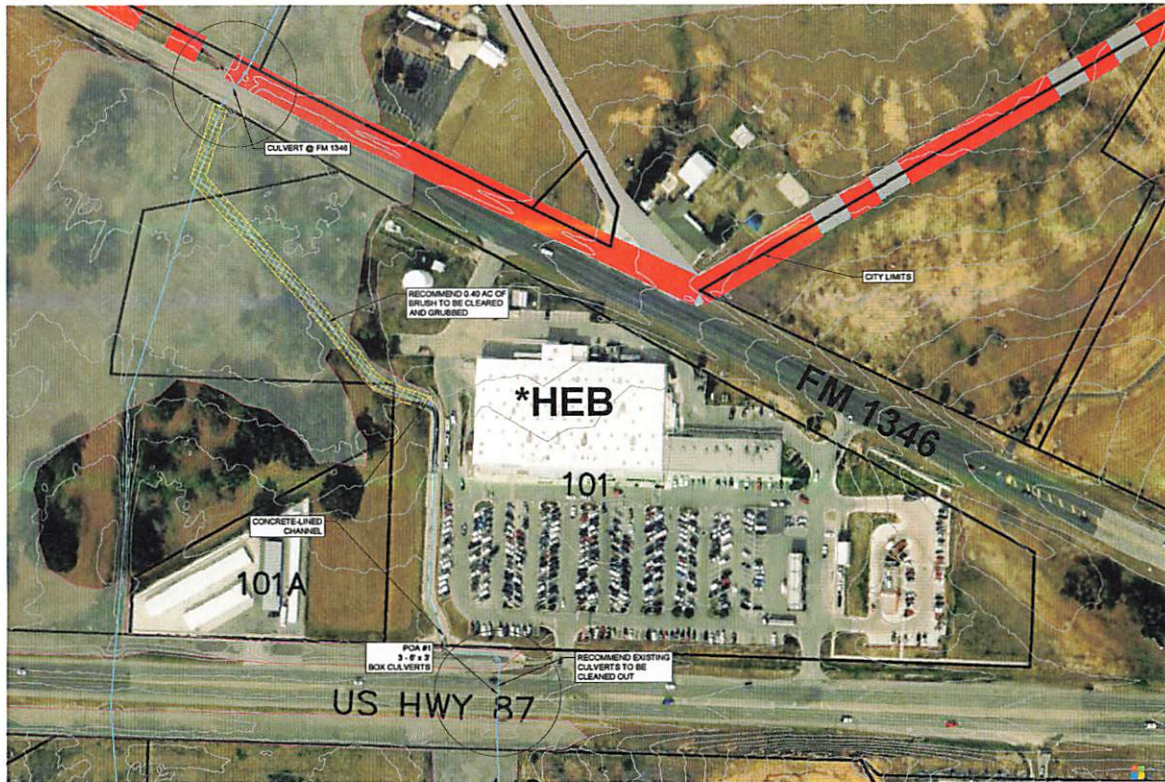
DATE	04/05/2022
FILE	EXHIBIT
DRAWN BY	CG
PROJECT NO.	2020-032-22



EXHIBIT B

ISSUE #1 (H-E-B) - MAP

D:\Computer\Projects\Civil\2020-22 - Water Drainage Study\2022\City of La Vernia\2022 - Issue #1 - H-E-B - Map.dwg - User: jgarcia - Date: 04/05/2022 9:27am By: C1038.dwg



LEGEND	
	CITY LIMITS
	PROPERTY BOUNDARIES
	EXISTING 2-FT CONTOURS
	CLEARING & GRUBBING AREA
	100-YR FEMA FLOODPLAIN
	POA POINT OF ANALYSIS

TIME OF CONCENTRATION

DRAINAGE AREA	SHEET FLOW					SHALLOW CONCENTRATED FLOW					CHANNEL FLOW (GUTTER)		Total Tc
	SLOPE (ft/ft)	L FT	n	Tc sheet (MIN.)	(ft/ft)	L FT	Flow # T or N	Tc Shallow (MIN.)	(ft/ft)	Vvsg (MIN.)	L FT	Tc Channel (MIN.)	
POA #1: HWY 87 KING	0.065	300	0.24	34.2	0.088	800	N	4.6	6.00	1500	44.18	63.0	

HYDROLOGIC SUMMARY TABLE (SCS METHOD)	
Area Name	POA #1 HWY 87 CROSSING
Drainage Area (ac)	300.0
CR #	60
% Imperv.	20
Tc (hrs)	1.050
Unit Time (hrs)	0.63
2 year Discharge (cfs)	625
10 year Discharge (cfs)	1541
25 year Discharge (cfs)	2218
100 year Discharge (cfs)	3500

* Part of the SCS Design Calculations shown are derived from existing conditions assumptions using available graphical computer programs (Google Earth, Google Maps, TNRS GIS information) for what would be considered current developed conditions.
 ** All drainage calculations utilize Atlas 24 rainfall data.



HEADQUARTERS
 307 South Lamson Street, Odessa, TX 79761
 P: 804.876.7546 F: 804.876.3054

CENTRAL TEXAS
 303 Cleburne Park Loop, Ste. B, Boke TX 76801
 P: 254.244.4227

EXHIBIT B - ISSUE #1 (H-E-B) - MAP

CITY OF LA VERNIA

WARNING
 THIS BAR DOES NOT REPRESENT THE DRAWING IS NOT TO SCALE.

DATE: 04/05/2022
 FILE: EXHIBIT
 DRAWN BY: GG
 PROJECT NO.: 0200-012-22



EXHIBIT C

ISSUE #1 (H-E-B) – COST ESTIMATE



**Southwest
Engineers**

www.swengineers.com | TBPE No. F-1909

Civil | Environmental | Land Development
HEADQUARTERS
 307 St. Lawrence St.
 Gonzales, TX 78629
 Phone: 830.672.7546

CENTRAL TEXAS OFFICE
 205 Cimarron Park Loop, Ste B
 Buda, TX 78610
 Phone: 512.312.4336

City of La Vernia - Drainage Improvement Recommendations
 La Vernia, TX
 Issue #1 - H-E-B
 Preliminary Cost Estimate
 April 2022

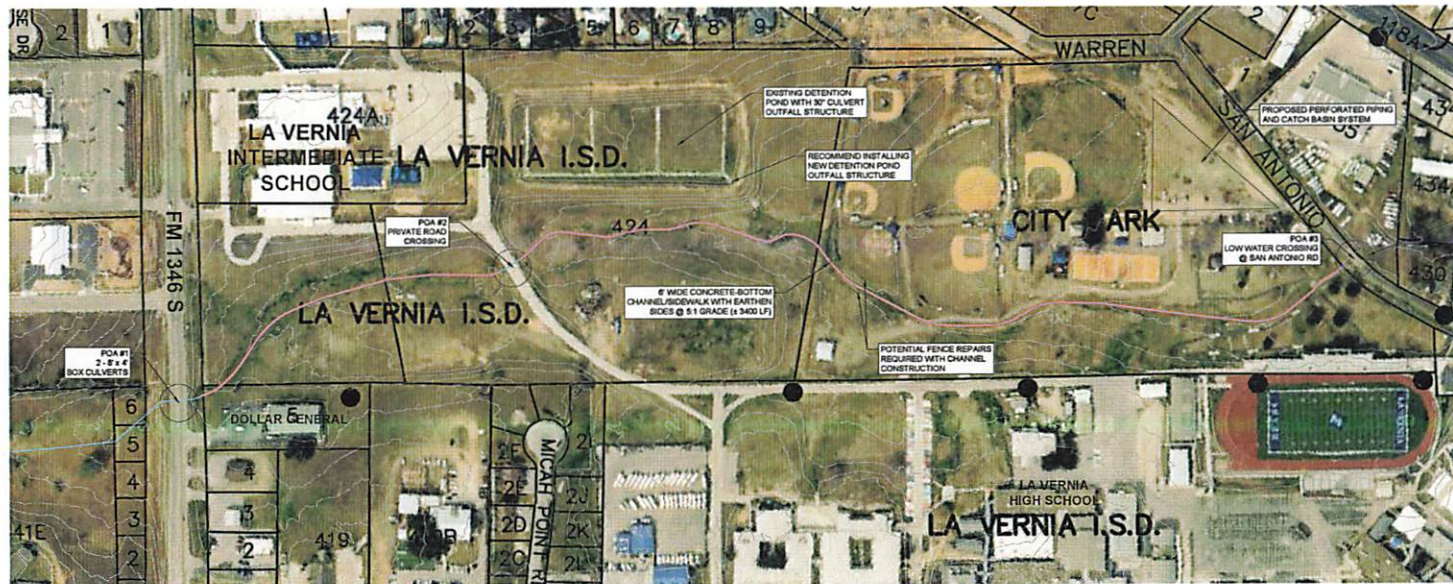
Item #	Item	Quantity	Unit	Unit Cost	Cost
1	Clearing and Grubbing	0.40	ac	\$ 6,000	\$ 2,400
2	Clean Existing Culvert	3	ea	\$ 2,000	\$ 6,000
3	Revegetation	1,954	sy	\$ 3	\$ 5,862
OPINION OF PROBABLE CONSTRUCTION COST					\$ 14,262
CONTINGENCY (15%)					\$ 2,138
TOTAL OPINION OF PROBABLE COST					\$ 16,400

This opinion of probable construction cost represent best judgment as a design professional familiar with the Construction Industry and based on opinions and evaluations of current market rates for labor, materials and equipment. It is based on the understanding of the project at the time of its creation only. There is no warranty that any construction bid will not vary from this opinion.



EXHIBIT D

ISSUE #2 (CITY PARK/LA VERNIA ISD) - MAP

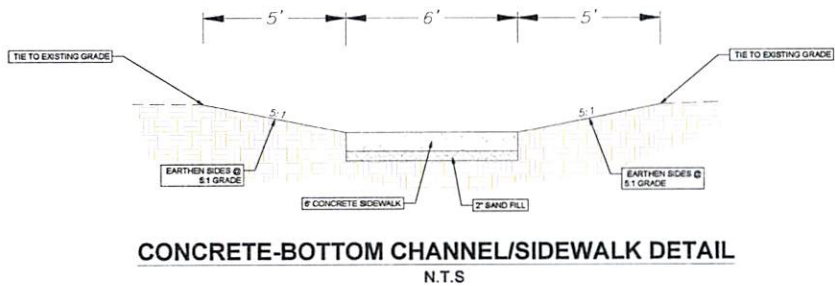


LEGEND	
	CITY LIMITS
	PROPERTY BOUNDARIES
	EXISTING 2-FT CONTOURS
	CHANNEL CENTERLINE
	PROPOSED CHANNEL BOTTOM/SIDEWALK
	POA POINT OF ANALYSIS

DRAINAGE AREA	TIME OF CONCENTRATION						Channel Flow (cfs)	Total Tc (mins)			
	SLOPE (1/100)	L (FT)	H (FT)	Tc (mins)	Flow (cfs)	Total Tc (mins)					
POA #1 - FM 1346 KING	0.025	500	0.24	11.6	0.025	1453	9.5	5.00	3900	6.40	27.5
POA #2 - PRIVATE RD KING	0.025	500	0.24	11.6	0.025	1453	9.5	5.00	2022	9.74	30.8
POA #3 - LOW WATER KING	0.025	500	0.24	11.6	0.025	1453	9.5	5.00	3318	17.73	38.8

HYDROLOGIC SUMMARY TABLE (SCS METHOD)			
Area Name	POA #1 FM 1346 CROSSING	POA #2 PRIVATE RD CROSSING	POA #3 LOW WATER CROSSING @ SAN ANTONIO RD
Drainage Area (ac)	154	176	287
CU #	30	30	30
N Imperv	30	30	30
Tc (hrs)	0.458	0.514	0.647
lag Time (hrs)	0.27	0.31	0.39
3 year Discharge (cfs)	314	388	265
10 year Discharge (cfs)	426	476	424
25 year Discharge (cfs)	542	624	597
100 year Discharge (cfs)	883	993	1375

* Part of the SCS Design Calculations shown are derived from existing conditions assumptions using available graphical computer programs (Google Earth, Google Maps, TRINIS GIS information) for what would be considered current developed conditions.
 ** All drainage calculations utilize Atlas 14 rainfall data



CONCRETE-BOTTOM CHANNEL/SIDEWALK DETAIL
N.T.S.



HEADQUARTERS
3901 South Lavaca Street, Austin TX 78705
P: 832.475.1758 F: 832.475.2124

CENTRAL TEXAS
3400 Commerce Park Loop, Ste. B, Buld TX 76886
P: 214.344.4229

TYPE NO. F-4909
www.swengr.com

EXHIBIT D - ISSUE #2 (CITY PARK/LA VERNIA ISD) MAP

CITY OF LA VERNIA

WARNING
* THIS BAR DOES NOT MEASURE ** THE DRAWING IS NOT TO SCALE

DATE: 04/05/2022
FILE: EXHIBT
DRAWN BY: GJ
PROJECT NO.: 0000-032-22



EXHIBIT E

ISSUE #2 (CITY PARK/LA VERNIA ISD) – COST ESTIMATE



City of La Vernia - Drainage Improvement Recommendations
 La Vernia, TX
 Issue #2 - City Park/La Vernia ISD
 Preliminary Cost Estimate
 April 2022

Item #	Item	Quantity	Unit	Unit Cost	Cost
1	Clearing and Grubbing	1.25	ac	\$ 6,000	\$ 7,500
2	Earthwork for Channel	3,400	lf	\$ 20	\$ 68,000
3	6' Concrete Channel Bottom/Sidewalk	20,400	sf	\$ 10	\$ 204,000
4	Embankment/Fill	630	cy	\$ 12	\$ 7,560
5	Upgrade Existing Pond Outfall Structure	1	ea	\$ 50,000	\$ 50,000
6	Fence Repair	1	ls	\$ 2,000	\$ 2,000
7	Revegetation	1,889	sy	\$ 3	\$ 5,667
OPINION OF PROBABLE CONSTRUCTION COST					\$ 344,727
ENGINEERING & CONTINGENCY (25%)					\$ 86,173
TOTAL OPINION OF PROBABLE COST					\$ 430,900

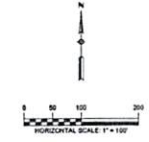
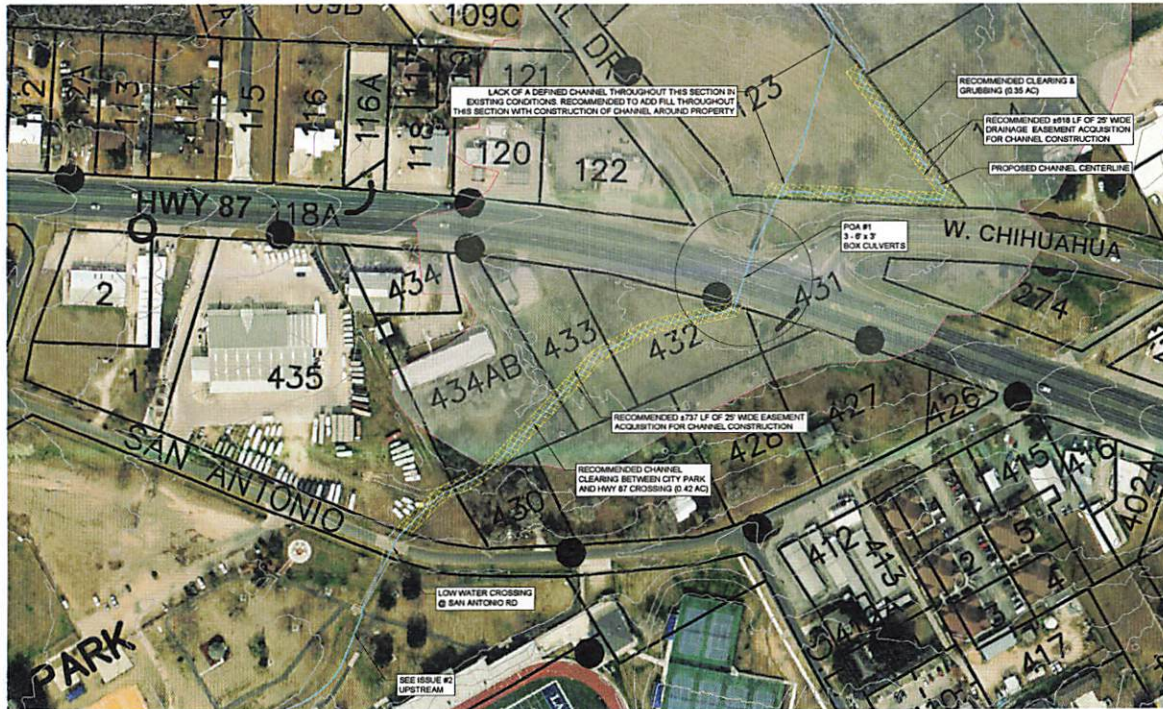
This opinion of probable construction cost represent best judgment as a design professional familiar with the Construction Industry and based on opinions and evaluations of current market rates for labor, materials and equipment. It is based on the understanding of the project at the time of its creation only. There is no warranty that any construction bid will not vary from this opinion.

RAUL J. VIKTORIN
 66879
 LICENSED
 PROFESSIONAL ENGINEER
 STATE OF TEXAS
 4/6/22



EXHIBIT F

ISSUE #3 (HIGHWAY 87 CROSSING NEAR W. CHIHUAHUA) - MAP



LEGEND	
	CITY LIMITS
	PROPERTY BOUNDARIES
	EXISTING 2-FT CONTOURS
	EXISTING CHANNEL CENTERLINE
	PROPOSED CHANNEL CENTERLINE
	EASEMENT / CLEARING & GRUBBING AREA
	100-YR FEMA FLOODPLAIN
	POA POINT OF ANALYSIS

DRAINAGE AREA	TIME OF CONCENTRATION											
	SHEET FLOW			SHALLOW CONCENTRATED FLOW			CHANNEL FLOW (DUTTBS)					
	SLOPE (F/F)	L (FT)	Tc (min)	SLOPE (F/F)	L (FT)	Paved? Y or N	Tc Shallow (min)	Wing	L (FT)	Tc Shallow (min)	Total Tc (min)	
POA #1 - HWY 87 BRIDGE	0.025	300	0.24	11.4	0.023	1453	N	9.5	5.00	439	30.65	41.9

HYDROLOGIC SUMMARY TABLE (SCS METHOD)	
Area Name	POA #1 HWY 87 CROSSING
Drainage Area (ac)	323
CN 2	70
% Imperv.	30
Tc (min)	0.691
1st Year Discharge (cfs)	6.41
2 year Discharge (cfs)	296
10 year Discharge (cfs)	894
25 year Discharge (cfs)	998
100 year Discharge (cfs)	1529

* Part of the SCS Design Calculations shown are derived from existing conditions assumptions using available graphical computer programs (Google Earth, Google Maps, TRINS GIS information) for what would be considered current developed conditions.
 ** All drainage calculations utilize Atlas 14 rainfall data.

EXHIBIT F - ISSUE #3 (HWY 87 CROSSING NEAR W. CHIHUAHUA) - MAP

CITY OF LA VERNIA



HEADQUARTERS
 317 East Limestone Street, Denton, TX 76201
 P: 817.474.7548 F: 817.474.3024

CENTRAL TEXAS
 410 Clearlake Park Loop, Ste. B, Buda, TX 78610
 P: 817.334.4328

WARNING
 IF THIS BAR DOES NOT MEASURE 1" THE DRAWING IS NOT TO SCALE

DATE: 04/25/2022
 FILE: EX-#18
 DRAWN BY: GG
 PROJECT NO: 0000-032-22



EXHIBIT G

ISSUE #3 (HIGHWAY 87 CROSSING NEAR W. CHIHUAHUA) – COST ESTIMATE



**Southwest
Engineers**

www.swengineers.com | TBPE No. F-1909

Civil | Environmental | Land Development
HEADQUARTERS
 307 St. Lawrence St.
 Gonzales, TX 78629
 Phone: 830.672.7546

CENTRAL TEXAS OFFICE
 205 Cimarron Park Loop, Ste B
 Buda, TX 78610
 Phone: 512.312.4336

City of La Vernia - Drainage Improvement Recommendations
La Vernia, TX
Issue #3 - Highway 87 Crossing near W. Chihuahua
Preliminary Cost Estimate
April 2022

Item #	Item	Quantity	Unit	Unit Cost	Cost
1	Clearing and Grubbing	0.77	ac	\$ 6,000	\$ 4,620
2	Easement Acquisition	1,355	lf	\$ 20	\$ 27,100
3	Earthwork for Channel	1,355	lf	\$ 20	\$ 27,100
4	Clean Existing Culvert	3	ea	\$ 2,000	\$ 6,000
5	Embankment/Fill	598	cy	\$ 12	\$ 7,176
6	Repair Existing Headwall Scour/Undermining	1	ls	\$ 35,000	\$ 35,000
7	Revegetation	3,727	sy	\$ 3	\$ 11,181
OPINION OF PROBABLE CONSTRUCTION COST					\$ 118,177
ENGINEERING & CONTINGENCY (25%)					\$ 29,523
TOTAL OPINION OF PROBABLE COST					\$ 147,700

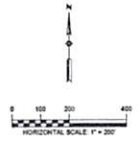
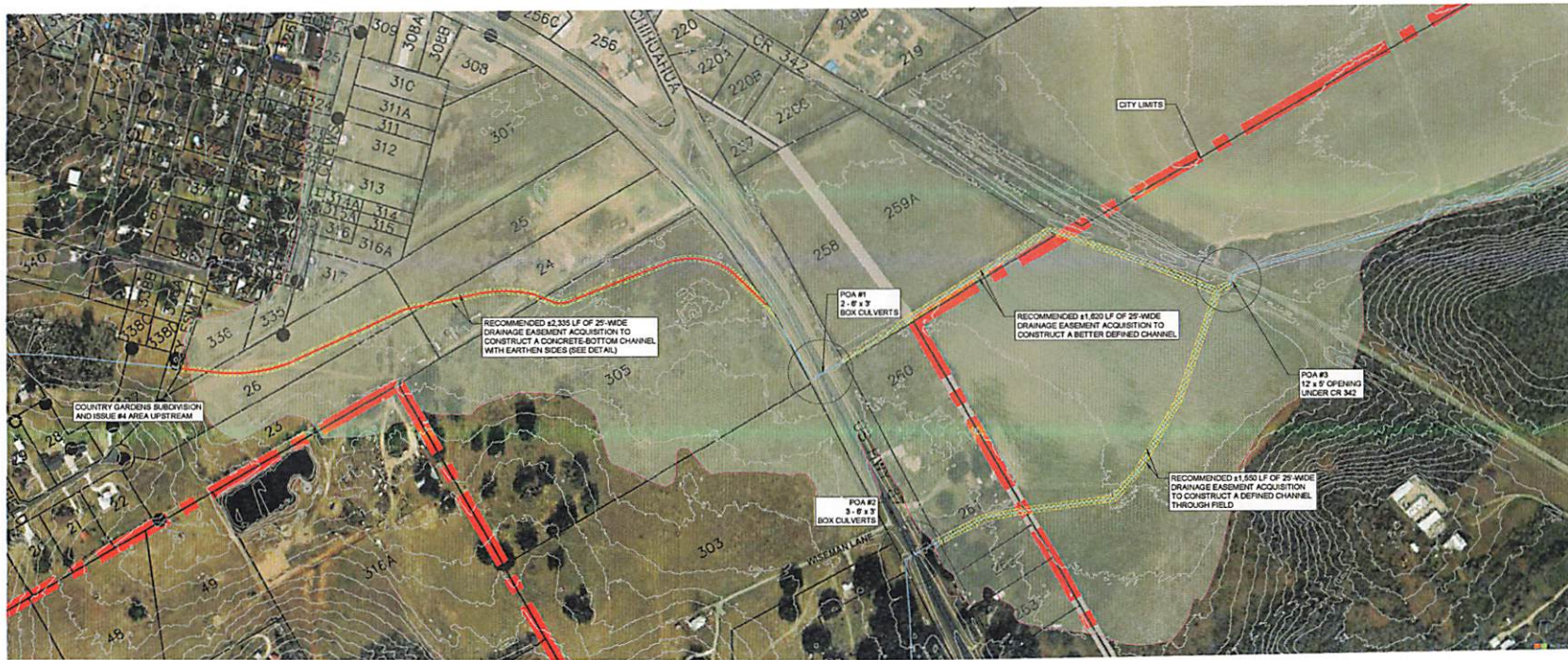
This opinion of probable construction cost represent best judgment as a design professional familiar with the Construction Industry and based on opinions and evaluations of current market rates for labor, materials and equipment. It is based on the understanding of the project at the time of its creation only. There is no warranty that any construction bid will not vary from this opinion.

PAUL J. VIKTORIN
 66879
 LICENSED PROFESSIONAL ENGINEER



EXHIBIT H

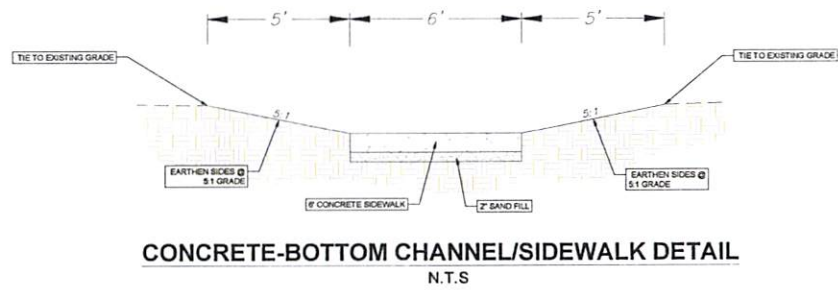
ISSUE #5 (HIGHWAY 87 & CR 342 CROSSINGS) - MAP



DRAINAGE AREA	TIME OF CONCENTRATION											
	SHEET FLOW		SMALL DRY CONCENTRATED FLOW		CHANNEL FLOW (OUTLET)							
	SLOPE (1/1.1)	L (FT)	n	Tc (MIN)	SLOPE (1/1.1)	L (FT)	Tc (MIN)	Y (FT)	SLOPE (1/1.1)	L (FT)	Tc (MIN)	
POA #1 - HWY 87 N KING	0.055	300	0.24	8.5	0.054	817	N	3.6	6.00	8721	24.23	36.3
POA #2 - HWY 87 S KING	0.040	300	0.24	9.6	0.040	2747	N	34.2	6.00	17032	47.31	71.1
POA #3 - CR 342 KING	0.040	300	0.24	9.6	0.040	2747	N	34.2	6.00	18079	55.64	79.4

HYDROLOGIC SUMMARY TABLE (SCS METHOD)			
Area Name	POA #1 HWY 87 N CROSSING	POA #2 HWY 87 S CROSSING	POA #3 CR 342 CROSSING
Drainage Area (Ac)	479	2124	3025
CN 2	69	68	68
% Imperv.	35	30	30
Tc (hr)	0.654	1.185	1.257
Low Time (hrs)	0.36	0.75	0.75
2 year Discharge (cfs)	613	1213	1679
10 year Discharge (cfs)	1484	3024	4065
25 year Discharge (cfs)	2342	4483	5973
100 year Discharge (cfs)	3706	7080	9413

* Part of the SCS Design Calculations shown are derived from existing conditions assumptions using available graphical computer programs (Google Earth, Google Maps, Trimble GIS information) for what would be considered current developed conditions.
 ** All drainage calculations utilize Atlas 14 rainfall data



LEGEND

- ▬▬▬ CITY LIMITS
- ▬▬▬ PROPERTY BOUNDARIES
- ▬▬▬ EXISTING 2'-FT CONTOURS
- ▬▬▬ EXISTING CHANNEL CENTERLINE
- ▬▬▬ EASEMENT / CLEARING & GRUBBING AREA
- ▬▬▬ PROPOSED CHANNEL BOTTOM/SIDEWALK
- ▬▬▬ 100-YR FEMA FLOODPLAIN
- POA POINT OF ANALYSIS

Southwest Engineers
 HEADQUARTERS
 397 East Lawrence Street, Columbia, TX 76903
 P: 817.674.7548 F: 817.674.0154
 CENTRAL TEXAS
 803 Cameron Park Loop, Box 8, Buda, TX 76010
 P: 281.324.4327
 TEXAS REG. # 49909
 www.swengr.com

EXHIBIT H - ISSUE #5 (HWY 87 & CR 342 CROSSINGS) - MAP

CITY OF LA VERNIA, TEXAS

WARNING
 THIS BAR DOES NOT MEASURE 1" = 200' UNLESS INDICATED OTHERWISE
 DATE: 04/06/2022
 FILE: EXHIBIT H
 DRAWN BY: GJ
 PROJECT NO: 0200-032-22

C:\Users\jrc\OneDrive\Documents\0200-032-22 - Master\Drawings\City of La Vernia\Exhibit H - Issue #5 (HWY 87 & CR 342 Crossings) - Map.dwg - Rev. Apr 06, 2022 - 4:05pm - P. 0200.dwg



EXHIBIT I

ISSUE #5 (HIGHWAY 87 & CR 342 CROSSINGS) – COST ESTIMATE



**Southwest
Engineers**

www.swengineers.com | TBPE No. F-1909

Civil | Environmental | Land Development

HEADQUARTERS
307 St. Lawrence St.
Gonzales, TX 78629
Phone: 830.672.7546

CENTRAL TEXAS OFFICE
205 Cimarron Park Loop, Ste B
Buda, TX 78610
Phone: 512.312.4336

City of La Vernia - Drainage Improvement Recommendations
La Vernia, TX
Issue #5 - Highway 87 and CR 342 Crossings
Preliminary Cost Estimate
April 2022

Item #	Item	Quantity	Unit	Unit Cost	Cost
1	Clearing and Grubbing	3.16	ac	\$ 6,000	\$ 18,960
2	Easement Acquisition	5,505	lf	\$ 20	\$ 110,100
3	Earthwork for Channel	5,505	lf	\$ 20	\$ 110,100
4	6' Concrete Channel Bottom/Sidewalk	14,009	sf	\$ 10	\$ 140,090
5	Embankment/Fill	432	cy	\$ 12	\$ 5,184
6	Revegetation	8,760	sy	\$ 3	\$ 26,280
OPINION OF PROBABLE CONSTRUCTION COST					\$ 410,714
ENGINEERING & CONTINGENCY (25%)					\$ 102,686
TOTAL OPINION OF PROBABLE COST					\$ 513,400

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Southwest Engineers

Civil | Environmental | Land Development

SOUTHWEST ENGINEERS, INC

205 CIMARRON PARK LOOP, SUITE B
BUDA, TX 78610

P: 512.312.4336 | F: 830.672.2034

www.swengineers.com | TBPE NO. F-1909



City Council Meeting Agenda Item

Meeting Date: April 14th, 2022

Presentation

Discussion

Discussion/Action

Ordinance

Resolution

Other: _____

AGENDA ITEM:

Discussion Action on La Vernia Market Days using the City Park for the month of May as a test month.

DISCUSSION:

Wayne Robbins from La Vernia Market Days will do a presentation on Market Days in the Park

BUDGET IMPACT:

None

STAFF RECOMMENDATION:

Approve

Attachments

Presentation Wayne Robbins

The following is an agreement between Wayne Robbins of the La Vernia Market Days and The City of La Vernia.

This agreement concerns the use of the City Park for the purpose of conducting The La Vernia Market Days.

I (Wayne Robbins) am requesting to use the City Park every 2nd and 4th Saturday of each month to conduct the La Vernia Market Days. On these days the market will be open from 9 a.m. to 2 p.m. Vendors will need to start arriving at 7 a.m. and be set up and out of the park with any vehicle by 8:45 a.m. They will then come back into the park at 2 p.m. to get their stuff and leave out after they are packed.

I agree to be responsible for all of the conducting and managing of the market. The city will not be burdened in any way financially or manpower.

I agree to keep the area that we use clean and always pick up trash after the market.

I understand and agree that the City of La Vernia can ask me to stop using the City Park at any time.

Wayne Robbins

Signature _____ Date: April 14, 2022



APPLICATION FOR LAND SUBDIVISION (PLAT)

La Vernia Code Enforcement
102 E. Chihuahua Street/P.O. Box 225
La Vernia, TX 78121
(830) 253-1198 Ext. 6
codeenforcement@lavernia-tx.gov

CHECK ONE: [] Master Plan [] Prelim./Final Plat [] Prelim. Plat [] Final Plat [X] Replat [] Amended [] Minor

1. PROPOSED SUBDIVISION NAME: N/A UNIT NO.
LOCATION DESCRIPTION/NEAREST INTERSECTION: SEBINE ST & HACKBERRY
ACREAGE: 1.456 NO OF LOTS: EXISTING 1 PROPOSED 2
REASON FOR PLATTING/REPLATTING Selling House & .519 ACRE TRACT

2. OWNER/APPLICANT*: DONALD RACKLER

(* If applicant is person other than owner, a letter of authorization must be provided from owner.*)

ADDRESS: 309 SEBINE ST LUT 78121

Telephone: Fax: Mobile: 210-724-1956 Email: racklerdew@gmail.com

3. LICENSED ENGINEER/SURVEYOR: MARTINEZ SURVEYING CO.

MAILING ADDRESS: P.O. Box 17971 SAT 78217 Ste. TX

TELEPHONE: 210-829-4244 Fax: Mobile: 210-632-7338 Email: RMS-msm@att.net

LIST ANY VARIANCE REQUESTED:

REASON FOR REQUEST (List any hardships):

4. PRESENT USE OF THE PROPERTY Commercial CURRENT ZONING: C-2

5. CITY LIMITS: [X] IN [] OUT IS ANY PART OF THE PROPERTY IN A FLOODPLAIN? [X] YES [] NO

6. Is the property subject to any liens, encumbrances, or judgments? If so, give details. (Provide separate sheet if needed.) Permission from any lien holders and/or removal of any encumbrances or judgments will be necessary prior to filing of said plat with the County Clerk's office.

REQUIRED ITEMS FOR SUBMITTAL PACKAGE

- [X] Completed application, including signature of owner/applicant and signed waiver.
[X] Copy of deed showing current ownership.
[] 7 copies of the plat, collated and folded so that the subdivision name is visible. Staple plats with 2 or more pages.
[] 2 copies of the preliminary plan of the water system showing the approximate location and size of onsite and offsite existing and proposed water lines and fire hydrants; sewer system; storm sewer and preliminary drainage plan.
[] Current deed restrictions for Vacating Plats, Replats, and Townhouse and Zero Lot Line Subdivisions.
[X] Survey showing any existing structures on the subject property.
[] List of street names approved by the appropriate county.

PLEASE READ "IMPORTANT NOTES" ON THE REVERSE SIDE OF THIS APPLICATION

I agree to comply with all platting and subdivision requirements of the City of La Vernia. I understand that the plat will NOT be forwarded to the Planning and Zoning Commission unless staff comments are satisfactorily addressed by the plat correction due date. I voluntarily waive my right to request a certificate stating the date the plat was filed and that the Planning and Zoning Commission failed to act on the plat within thirty days. I do not object to consideration of the plat on 4-5-22 (date of Planning and Zoning Commission meeting). This waiver expires after (date of the Planning and Zoning Commission meeting). (The waiver statement is not applicable to Minor Plats.)

Signature of Owner/Applicant: DONALD RACKLER Printed Name of Owner/Applicant: DONALD RACKLER Date: 2-18-22

(If applicant is person other than owner, a letter of authorization must be provided from owner.)
Signature indicates authorization for plat application and acceptance of waiver statement.

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

General Warranty Deed

Date: August 3, 2010

Grantors and Grantors' Mailing Addresses:

Malcolm Durant Morgenroth, Independent Executor of the Estate of Opal Morgenroth, deceased
6895 Pittman Road
Adkins, Texas 78101

Malcolm Durant Morgenroth, a married man dealing in his sole and separate property
6895 Pittman Road
Adkins, Texas 78101

Cary Lee Morgenroth, a married man dealing in his sole and separate property
6064 Highway 97 W.
Floresville, Texas 78114

Byron Nils Morgenroth, a single man
3312 Folsom Street
San Francisco, California 94110

Sharon Diane Hild (f/k/a Sharon Diane Morgenroth), a married woman dealing in her sole and separate property
4230 F.M. 775
La Vernia, Texas 78121

Grantee: Donald W. Rackler

Grantee's Mailing Address:

6491 F.M. 775
La Vernia, Texas 78121

Consideration:

TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

Property (including any improvements):

Being a 1.464 acre tract, more or less, situated in the Juan Delgado League, Wilson County, Texas and consisting of Lot 10 and a portion of Lots 9, 1, and 2, Wiseman Addition to the Town of La Vernia, as recorded in Volume 47, Page 292, Deed Records of Wilson County, Texas, and being that same tract described in a conveyance from Ruby Linne, a feme sole; Irene Linne Sagebiel and husband, Edward A. Sagebiel to Ervin Morgenroth and wife, Opal Morgenroth, recorded in Volume 462, Page 236, Deed Records of Wilson County, Texas; said 1.464 acre tract surveyed by Jeffrey B. Berger, R.P.L.S. No. 5558, and being more particularly described by metes and bounds on Exhibit "A", and depicted on a plat on Exhibit "B" attached hereto and made a part hereof for all purposes.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty:

Easements, Right-of-Ways and all matters shown on Plat of Wiseman Addition, recorded in Volume 47, Page 292, Plat Records of Wilson County, Texas.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

This instrument may be executed in counterparts and each of which as so executed shall be given the effect of the execution of the original instrument. Failure of any party hereto to execute this instrument or a counterpart thereof shall not render it ineffective as to any party hereto who does execute it or a counterpart thereof, but shall be binding upon each executing party and its successors and assigns. If counterparts of this instrument are executed, the signatures and acknowledgments of the parties, as affixed hereto, may be combined in, and treated and given effect for all purposes as a single instrument.

When the context requires, singular nouns and pronouns include the plural.

Estate of Opal Morgenroth, deceased

By: Malcolm Durant Morgenroth
Malcolm Durant Morgenroth, Independent Executor

Malcolm Durant Morgenroth
Malcolm Durant Morgenroth, individually

Cary Lee Morgenroth
Cary Lee Morgenroth

Byron Nils Morgenroth

Sharon Diane Hild
Sharon Diane Hild (f/k/a Sharon Diane Morgenroth)

ACKNOWLEDGMENTS

STATE OF TEXAS §
COUNTY OF WILSON §

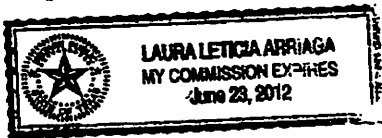
This instrument was acknowledged before me on August 3, 2010, by Malcolm Durant Morgenroth, Independent Executor of the Estate of Opal Morgenroth, deceased.



Laura Leticia Arriaga
Notary Public, State of Texas
My commission expires: _____

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August 3, 2010, by Malcolm Durant Morgenroth.



Laura Leticia Arriaga
Notary Public, State of Texas
My commission expires: _____

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August 3, 2010, by Cary Lee Morgenroth.



Cary Lee Morgenroth
Notary Public, State of Texas
My commission expires: _____

Cary Lee Morgenroth



Byron Nils Morgenroth

Sharon Diane Hild (f/k/a Sharon Diane Morgenroth)

ACKNOWLEDGMENTS

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August _____, 2010, by Malcolm Durant Morgenroth, Independent Executor of the Estate of Opal Morgenroth, deceased.

Notary Public, State of Texas
My commission expires: _____

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August _____, 2010, by Malcolm Durant Morgenroth.

Notary Public, State of Texas
My commission expires: _____

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August _____, 2010, by Cary Lee Morgenroth.

Notary Public, State of Texas
My commission expires: _____

STATE OF CALIFORNIA §
COUNTY OF San Francisco §

Before me, the undersigned notary public, on this day personally appeared Byron Nils Morgenroth, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this the 3 day of August, 2010.

[Seal]



Tara Ray
Notary Public, State of California

Notary's Printed Name: Tara Ray

My commission expires: Oct. 3 2010

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August _____, 2010, by Sharon Diane Hild (f/k/a Sharon Diane Morgenroth).

Notary Public, State of Texas
My commission expires: _____

PREPARED IN THE OFFICE OF:

Foster & Harvey, P.C.
3586 Highway 181 N.
Floresville, Texas 78114
Tel: (830) 393-6496
Fax: (830) 393-9426

✓ AFTER RECORDING RETURN TO:
Donald W. Rackler
6491 F.M. 775
La Vernia, Texas 78121

STATE OF CALIFORNIA §
COUNTY OF _____ §

Before me, the undersigned notary public, on this day personally appeared Byron Nils Morgenroth, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2010.

[Seal]

Notary Public, State of California

Notary's Printed Name:

My commission expires: _____

STATE OF TEXAS §
COUNTY OF WILSON §

This instrument was acknowledged before me on August 3, 2010, by Sharon Diane Hild (f/k/a Sharon Diane Morgenroth).



[Handwritten Signature]

Notary Public, State of Texas
My commission expires: _____

PREPARED IN THE OFFICE OF:

Foster & Harvey, P.C.
3586 Highway 181 N.
Floresville, Texas 78114
Tel: (830) 393-6496
Fax: (830) 393-9426

✓ AFTER RECORDING RETURN TO:
Donald W. Rackler
6491 F.M. 775
La Vernia, Texas 78121

PORIONS OF THIS DOCUMENT MAY NOT BE LEGIBLE/REPRODUCIBLE WHEN RECEIVED FOR RECORDING

MARTINEZ
SURVEYING & MAPPING CO.
Firm # 101822-00
P.O. BOX 17971
San Antonio, Texas 78217
(210) 829-4244

STATE OF TEXAS
COUNTY OF WILSON

TRACT 1
0.519 ACRE TRACT

All that certain tract or parcel of land containing 0.519 of an acre in the City of La Vernia, Wilson County, Texas, being a portion of Lots 1 & 2, Wiseman Addition as shown in Volume 47, Page 29, Deed Records of Wilson County, Texas and being a portion of a tract called 1.464 acre tract described in conveyance to Donald W. Rackler, of record in Volume 1566, Page 95, Official Public Records of Wilson County, Texas.

COMMENCING: at ½" iron pin found at the intersection of the Southeast line of Kimball St. with the Southwest corner of Hackberry St. at the North corner of said Lot 10 and same being the North corner of said tract called 1.464 acres;

THENCE: South 30 deg. 02 min. 49 sec. East, 291.35 feet along with the Southwest line of Hackberry St. to a ½" iron pin set with cap at the East corner of Tract 2, 0.937 acre tract, surveyed this same day, for the North corner and Point of Beginning of this tract;

THENCE: South 30 deg. 02 min. 49 sec. East, 160.43 feet along with the Southwest line of Hackberry St. to a ½" iron pin set with cap at the intersection of the Southwest line of Hackberry St. with the Northwest line of Seguin Road, for the East corner of this tract;

THENCE: South 59 deg. 42 min. 20 sec. West, 141.10 feet along with the Northwest line of Seguin Road to a ½" iron pin found at the East corner of Rudy Santos & Diana Gonzales tract, of record in Volume 732, Page 475, Deed Records of Wilson County, Texas, for the South corner of this tract;

THENCE: North 29 deg. 55 min. 55 sec. West, 160.43 feet to a ½" iron pin set with cap at the South corner of said Tract 2, 0.937 acre tract, surveyed this same day, for the West corner of this tract;

THENCE: North 59 deg. 42 min. 20 sec. East, 140.78 feet across said 1.464 acre tract to the POINT OF BEGINNING.

Bearing Basis – North 59 deg. 04 min. 15 sec. East, 140.21 feet – from the Northwest line of said tract called 1.464 acre tract using WGS84, NAVD88.



A handwritten signature in black ink that reads "Reynaldo Martinez Jr." with a stylized flourish at the end.

REYNALDO MARTINEZ JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482
W. O. # 21-5-19 (T1)
February 17, 2022
(SEE ATTACHED SURVEY PLAT)

Deed

SCANNED

034125 STC

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

General Warranty Deed

Date: February 1, 2022

Grantor: Alton W. Womack and Beth M. Womack, a married couple

Grantor's Mailing Address:

Alton W. Womack and Beth M. Womack
6670 Trenton Franklin Road
Middletown, Ohio 45042

Grantee: Drew Herley, a married person

Grantee's Mailing Address:

Drew Herley
359 Bear Ridge Drive
LaVernia, Texas 78121

Consideration:

TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

Property (including any improvements):

Being 13.101 acres of land, more or less, situated in the Juan Delgado Grant Survey No. 8, Abstract No. 8, city of LaVernia, Wilson County, Texas and being out of that 14.13 acres described in a Revocable Transfer on Death Deed recorded in Volume 2080, Page 477, Official Public Records of Wilson County, Texas; said 13.101 acres being more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

Reservations from Conveyance:

None

Exceptions to Conveyance and Warranty:

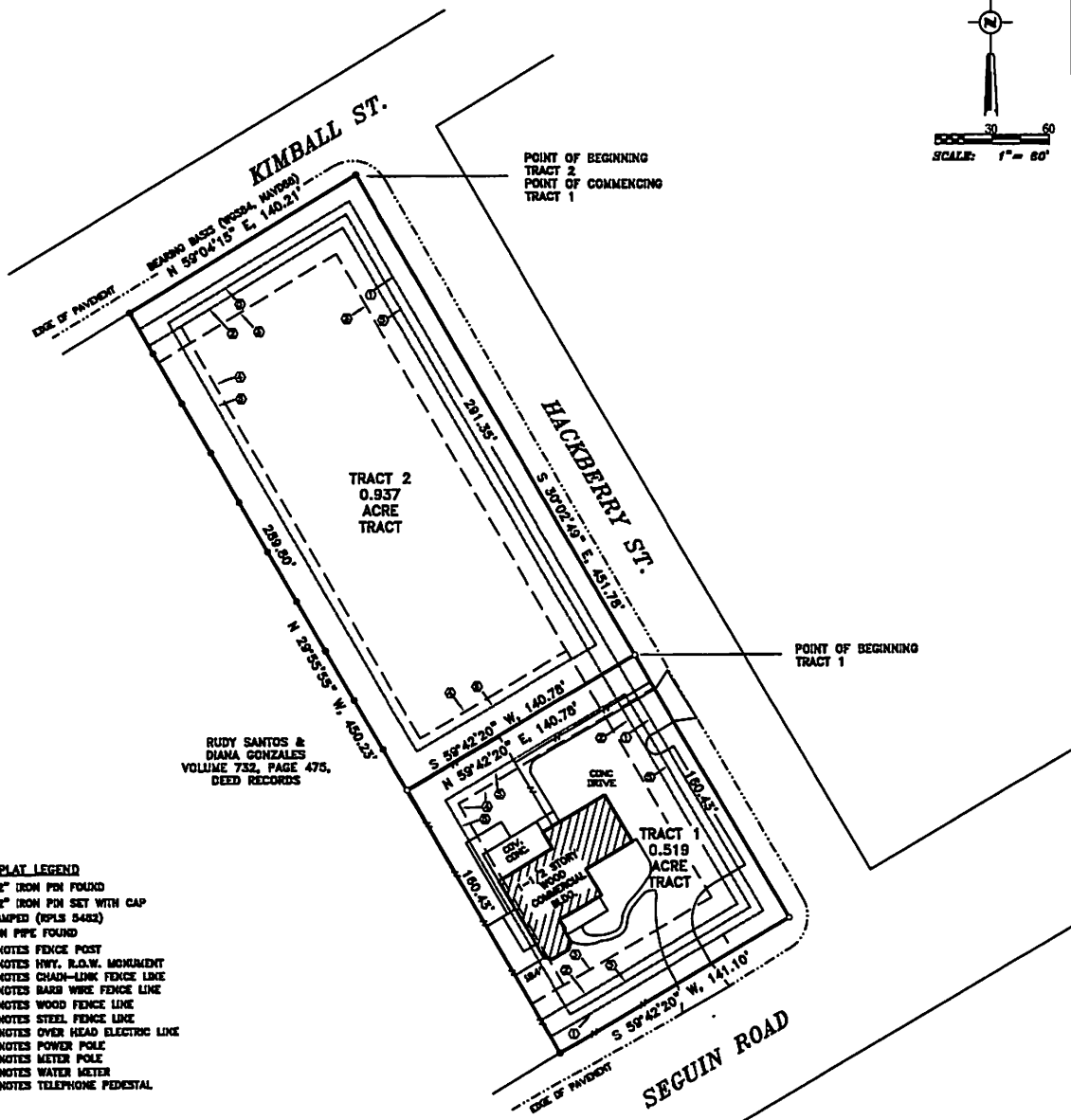
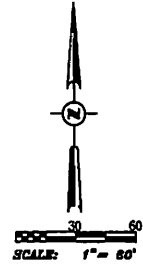
Bearing Basis – North 59 deg. 04 min. 15 sec. East, 140.21 feet – from the Northwest line of said tract called 1.464 acre tract using WGS84, NAVD88.



Reynaldo Martinez Jr.

REYNALDO MARTINEZ JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482
W. O. # 21-5-19
February 17, 2022
(SEE ATTACHED SURVEY PLAT)

CITY OF LA VERNIA
WISEMAN ADDITION



- PLAT LEGEND**
- 1/2" IRON PIN FOUND
 - 1/2" IRON PIN SET WITH CAP STAMPED (RPLS 5482)
 - ⊙ IRON PIPE FOUND
 - DENOTES FENCE POST
 - ▲ DENOTES HWY. R.O.W. MONUMENT
 - ⊕ DENOTES CHAIN-LINK FENCE LINE
 - ⊗ DENOTES BARS WIRE FENCE LINE
 - ⊘ DENOTES WOOD FENCE LINE
 - ⊙ DENOTES STEEL FENCE LINE
 - ⊖ DENOTES OVER HEAD ELECTRIC LINE
 - PA DENOTES POWER POLE
 - MA DENOTES METER POLE
 - WM DENOTES WATER METER
 - TP DENOTES TELEPHONE PEDESTAL

**SURVEY PLAT
OF**

TRACT 1, 0.519 OF AN ACRE, IN THE CITY OF LA VERNIA, WILSON COUNTY, TEXAS, BEING A PORTION OF LOTS 1 & 2, WISEMAN ADDITION AS SHOWN IN VOLUME 47, PAGE 29, DEED RECORDS OF WILSON COUNTY, TEXAS AND BEING A PORTION OF A TRACT CALLED 1.484 ACRE TRACT DESCRIBED IN CONVEYANCE TO DONALD W. RACKLER, OF RECORD IN VOLUME 1566, PAGE 95, OFFICIAL PUBLIC RECORDS OF WILSON COUNTY, TEXAS.

TRACT 2, 0.937 OF AN ACRE, IN THE CITY OF LA VERNIA, WILSON COUNTY, TEXAS, BEING A PORTION OF LOTS 1, 2, 9 & 10, WISEMAN ADDITION AS SHOWN IN VOLUME 47, PAGE 29, DEED RECORDS OF WILSON COUNTY, TEXAS AND BEING A PORTION OF A TRACT CALLED 1.484 ACRE TRACT DESCRIBED IN CONVEYANCE TO DONALD W. RACKLER, OF RECORD IN VOLUME 1566, PAGE 95, OFFICIAL PUBLIC RECORDS OF WILSON COUNTY, TEXAS.

(SEE ACCOMPANYING FIELD NOTE DESCRIPTION)

NOTES:
PROPERTY ADDRESS: 309 SEGUIN ROAD
SURVEYED FOR DONALD W. RACKLER

THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND OTHER MATTERS OF RECORD, (EASEMENTS, SETBACK LINE, ETC.) WHICH MAY AFFECT THIS TRACT MAY NOT BE SHOWN HEREON.

- ⓪ 10' NO-IMPROVEMENT SETBACK LINE
- ⓪ 20' DRAIN & EMBANKMENT/BACKSLOPE EASEMENT
- ⓪ 30' BUILDING LINE SETBACK LINE
- ⓪ 20' BUILDING SETBACK LINE
- ⓪ 15' PUBLIC UTILITY EASEMENT

MARTINEZ
SURVEYING & MAPPING CO
FIRM # 101822-00
P.O. BOX 17971
SAN ANTONIO, TX, 78217
(210) 829-4244

STATE OF TEXAS
COUNTY OF WILSON
I hereby certify that the above plat is true and correct according to an actual survey made on the ground under my supervision and that there are no visible encumbrances or encroachments of buildings on adjoining property, and that all buildings are wholly located on this property except as shown above and that all lines have been located as indicated above on the data on this plat.



This 17th day of FEBRUARY, 20 22 A.D.

Reinaldo Martinez, Jr.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482
JOB No. 21-5-29



NOTICE OF PUBLIC HEARING

The City of La Vernia Planning & Zoning Commission will hold a public hearing at the request of Mr. Donald Rackler

Property: 1.464 acres described as Lot 68-169 (LOT 1 BLK 19) City of La Vernia (309 Seguin Rd)

Request: selling house and .519 acre tract

Because your property is located within 200 feet of the request, State Law requires that we notify you of the public hearing. **However, the zoning of your property will not be affected.** The public hearing process allows an opportunity to provide your written opinion of the request. This will aid the Commissioners in making their decision.

Public hearing for this request is scheduled before the Planning & Zoning Commission on Tuesday, April 5, 2022 at 6:30 PM in the City Hall Council Chambers, 102 E. Chihuahua St. and is open to the public. If you are unable to attend the hearing and desire to express an opinion in regard to the above petition, you may do so by completing the form below and return the form below, including your signature, and must be returned no later than 5:00 PM on Friday April 1, 2022.

Mail: City of La Vernia
Brittani Porter
102 E. Chihuahua St.
La Vernia, Texas 78121

Email: bporter@lavernia-tx.gov

If you have questions, please call Brittani Porter at (830) 779-4541 ext. 3.

Brittani Porter, City Secretary

YOUR OPINION MATTERS – DETACH AND RETURN

Circle one

I am (**in favor**) (**opposed to**) the proposed re-plat at 309 Seguin Rd Lot 168-169 (LOT 1 BLK 19), La Vernia, Texas 78121.

Name: _____

Address: _____

Signature: _____

Date: _____

Comments: _____

By State Law – Unsigned submission cannot be counted as official comment.

MARTINEZ
SURVEYING & MAPPING CO.
Firm # 101822-00
P.O. BOX 17971
San Antonio, Texas 78217
(210) 829-4244

STATE OF TEXAS
COUNTY OF WILSON

TRACT 1
0.519 ACRE TRACT

All that certain tract or parcel of land containing 0.519 of an acre in the City of La Vernia, Wilson County, Texas, being a portion of Lots 1 & 2, Wiseman Addition as shown in Volume 47, Page 29, Deed Records of Wilson County, Texas and being a portion of a tract called 1.464 acre tract described in conveyance to Donald W. Rackler, of record in Volume 1566, Page 95, Official Public Records of Wilson County, Texas.

- COMMENCING:** at ½" iron pin found at the intersection of the Southeast line of Kimball St. with the Southwest corner of Hackberry St. at the North corner of said Lot 10 and same being the North corner of said tract called 1.464 acres;
- THENCE:** South 30 deg. 02 min. 49 sec. East, 291.35 feet along with the Southwest line of Hackberry St. to a ½" iron pin set with cap at the East corner of Tract 2, 0.937 acre tract, surveyed this same day, for the North corner and Point of Beginning of this tract;
- THENCE:** South 30 deg. 02 min. 49 sec. East, 160.43 feet along with the Southwest line of Hackberry St. to a ½" iron pin set with cap at the intersection of the Southwest line of Hackberry St. with the Northwest line of Seguin Road, for the East corner of this tract;
- THENCE:** South 59 deg. 42 min. 20 sec. West, 141.10 feet along with the Northwest line of Seguin Road to a ½" iron pin found at the East corner of Rudy Santos & Diana Gonzales tract, of record in Volume 732, Page 475, Deed Records of Wilson County, Texas, for the South corner of this tract;
- THENCE:** North 29 deg. 55 min. 55 sec. West, 160.43 feet to a ½" iron pin set with cap at the South corner of said Tract 2, 0.937 acre tract, surveyed this same day, for the West corner of this tract;
- THENCE:** North 59 deg. 42 min. 20 sec. East, 140.78 feet across said 1.464 acre tract to the POINT OF BEGINNING.

Bearing Basis – North 59 deg. 04 min. 15 sec. East, 140.21 feet – from the Northwest line of said tract called 1.464 acre tract using WGS84, NAVD88.



Reynaldo Martinez Jr.

REYNALDO MARTINEZ JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482
W. O. # 21-5-19 (T1)
February 17, 2022
(SEE ATTACHED SURVEY PLAT)



APPLICATION FOR LAND SUBDIVISION (PLAT)

102 E. Chihuahua Street
P.O. Box 225
La Vernia, TX 78121
(830) 779-4541
bporter@lavernia-tx.gov

CHECK ONE: [] Master Plan [] Prelim./Final Plat [x] Prelim. Plat [] Final Plat [x] Replat [] Amended [] Minor

1. PROPOSED SUBDIVISION NAME: n/a UNIT NO. _____

LOCATION DESCRIPTION/NEAREST INTERSECTION: Dry Hollow Rd and Forrest

ACREAGE: 13 acres NO OF LOTS: EXISTING 1 PROPOSED 3

REASON FOR PLATTING/REPLATTING possible resale of lots, or reeded to family member

2. OWNER/APPLICANT*: Drew Herley

(* If applicant is person other than owner, a letter of authorization must be provided from owner.*)

ADDRESS: 359 Bear Ridge Dr

Telephone: 210-428-8481 Fax: _____ Mobile: _____ Email: _____

3. LICENSED ENGINEER/SURVEYOR: Westar

MAILING ADDRESS: PO Box 1645, Boerne 78006 Ste. _____

TELEPHONE: _____ Fax: _____ Mobile: 210372950 Email: _____

LIST ANY VARIANCE REQUESTED: _____

REASON FOR REQUEST (List any hardships): _____

4. PRESENT USE OF THE PROPERTY agricultural residential CURRENT ZONING: agr res

5. CITY LIMITS: [x] IN [] OUT IS ANY PART OF THE PROPERTY IN A FLOODPLAIN? [x] YES [] NO

6. Is the property subject to any liens, encumbrances, or judgments? If so, give details. (Provide separate sheet if needed.) Permission from any lien holders and/or removal of any encumbrances or judgments will be necessary prior to filing of said plat with the County Clerk's office.

REQUIRED ITEMS FOR SUBMITTAL PACKAGE

- Completed application, including signature of owner/applicant and signed waiver.
Copy of deed showing current ownership.
7 copies of the plat, collated and folded so that the subdivision name is visible.
2 copies of the preliminary plan of the water system showing the approximate location and size of onsite and offsite existing and proposed water lines and fire hydrants; sewer system; storm sewer and preliminary drainage plan.
Current deed restrictions for Vacating Plats, Replats, and Townhouse and Zero Lot Line Subdivisions N/A
Survey showing any existing structures on the subject property.
List of street names approved by the appropriate county N/A

PLEASE READ "IMPORTANT NOTES" ON THE REVERSE SIDE OF THIS APPLICATION

I agree to comply with all platting and subdivision requirements of the City of La Vernia. I understand that the plat will NOT be forwarded to the Planning and Zoning Commission unless staff comments are satisfactorily addressed by the plat correction due date. I voluntarily waive my right to request a certificate stating the date the plat was filed and that the Planning and Zoning Commission failed to act on the plat within thirty days. I do not object to consideration of the plat on _____ (date of Planning and Zoning Commission meeting). This waiver expires after _____ (date of the Planning and Zoning Commission meeting). (The waiver statement is not applicable to Minor Plats.)

Signature of Owner/Applicant

Drew Herley

3/31/22

Signature of Owner/Applicant

Printed Name of Owner/Applicant

Date

(If applicant is person other than owner, a letter of authorization must be provided from owner.)

Signature indicates authorization for plat application and acceptance of waiver statement.

EXHIBIT A

METES AND BOUNDS

Being 13.101 acres of land, more or less, situated in the Juan Delgado Grmt, Survey No. 8, Abstract No. 8, City of La Vernia, Wilson County, Texas, and being out of that 14.13 acres described in a Revocable Transfer on Death Deed recorded in Volume 2080, Page 477, Official Public Records, Wilson County, Texas, said 13.101 acres being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for the southeast corner of this 13.101 acres, same being the southeast corner of of said 14.13 acres and the northeast corner of Fred Pierdolla, Subdivision No. 11 (Volume 1, Page 110), same also being on the West Right-of-Way line of Dry Hollow Road and the **POINT OF BEGINNING**;

THENCE along the line common with this 13.101 acres and said Fred Pierdolla Subdivision, South 63 degrees 56 minutes 44 seconds West (called South 64 degrees 57 minutes 04 seconds West), at a distance of 240.78 feet (called 242.00 feet) pass a 1/2 inch iron rod found for the northwest corner of Lot 14 in said Fred Pierdolla Subdivision, continuing for a total distance of 990.92 feet (called 990.99 feet) to a 1/2 inch iron rod found for the southwest corner of this 13.101 acres, same being the northwest corner of said Fred Pierdolla Subdivision and an interior corner of the City of La Vernia, 7.607 acres (Volume 1109, Page 13);

THENCE along the line common with this 13.101 acres and said City of La Vernia 7.607 acres, North 02 degrees 14 minutes 07 seconds West (called North 01 degrees 13 minutes 34 seconds West), a distance of 870.38 feet (called 870.85 feet) to a point for the northwest corner of this 13.101 acres, same being the northeast corner of said City of La Vernia 7.607 acres and the southeast corner of Sandra L. Flowers Tract (Volume 871, Page 676), same also being the southwest corner of Faye L. Brown, 6.0 acres (Volume 988, Page 738);

THENCE along the line common with this 13.101 acres and said Brown 6.0 acres, North 85 degrees 29 minutes 37 seconds East (called North 85 degrees 04 minutes East), a distance of 716.44 feet to a 1/2 inch iron rod capped WALS set for the northeast corner of this 13.101 acres, same being on the South line of said Brown 6.0 acres and on the North line of said 14.13 acres;


THENCE across and severing said 14.13 acres the following courses and distances:

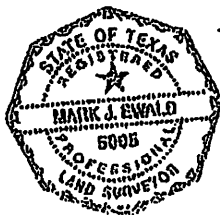
South 06 degrees 10 minutes 04 seconds East, a distance of 285.12 feet to a 1/2 inch iron rod capped WALS set for an interior corner of this 13.101 acres;

North 85 degrees 29 minutes 37 seconds East, a distance of 156.07 feet to a 1/2 inch iron rod capped WALS set for angle corner of this 13.101 acres, same being on the West Right-of-Way line of said Dry Hollow Road;

THENCE along the West Right-of-Way line of said Dry Hollow Road, South 06 degrees 10 minutes 04 seconds East (called South 05 degrees 10 minutes 00 seconds East), a distance of 220.84 feet the **POINT OF BEGINNING**, and containing 13.101 acres of land, more or less.

I hereby certify that these field notes were prepared from an actual survey made on the ground under my supervision and are true and correct to the best of my knowledge and belief. A survey plat of the above described tract prepared this day is hereby attached to and made a part hereof. Bearings shown herein are based on actual GPS observations, Texas State Plane Coordinates, South Central Zone, Grid.


Mark J. Ewald
Registered Professional Land Surveyor
Texas Registration No. 5095
June 11, 2020





VG-4013-2022-117080

Wilson County
Eva S. Martinez
Wilson County Clerk

Instrument Number: 117080

Real Property Recordings

Recorded On: February 07, 2022 01:24 PM

Number of Pages: 4

" Examined and Charged as Follows: "

Total Recording: \$34.00

***** THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 117080
Receipt Number: 20220207000036
Recorded Date/Time: February 07, 2022 01:24 PM
User: Krystle H
Station: cclerk05

Record and Return To:

SEGUIN TITLE COMPANY
202 N. CAMP ST., STE. 110
SEGUIN TX 78155



STATE OF TEXAS

Wilson County

I hereby certify that this Instrument was filed in the File Number sequence on the date/time printed hereon, and was duly recorded in the Official Records of Wilson County, Texas

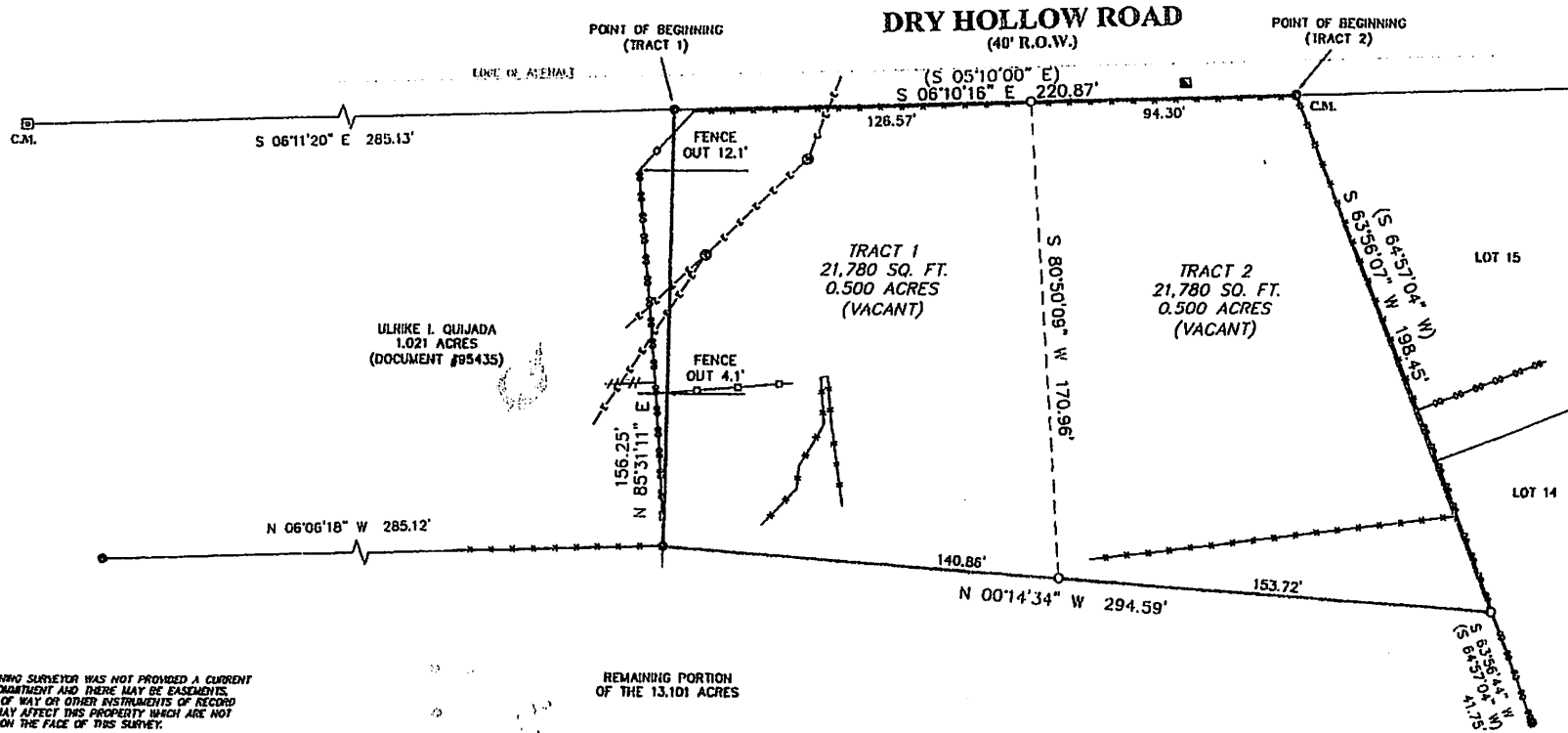
Eva S. Martinez

Eva S. Martinez
Wilson County Clerk
Floresville, TX

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property shown on this map is not intended to be included in a FEMA Flood Insurance Rate Map (FIRM), maintained as Community No. 48183C, Panel No. 0122 C, which is Dated 11/28/2010. By scaling from the FIRM, it appears that all or a portion of the property may be in Flood Zone(s) AE. Because this is a boundary survey, the surveyor did not take any action to determine the Flood Zone status of the property other than to interpret the information set out on FEMA's FIRM, as described above. THE SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONE, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://www.fema.gov/fema>.

SCALE: 1"=40'

NOTE:
PRIOR SURVEY (WESTAR JOB NO. 98230)
WAS USED FOR REFERENCE.



NOTE:
THE SIGNING SURVEYOR WAS NOT PROVIDED A CURRENT
TITLE COMMITMENT AND THERE MAY BE EASEMENTS,
RIGHTS OF WAY OR OTHER INSTRUMENTS OF RECORD
WHICH MAY AFFECT THIS PROPERTY WHICH ARE NOT
SHOWN ON THE FACE OF THIS SURVEY.

NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE:
DEADENHS SHOWN HEREON ARE BASED ON ACTUAL GPS OBSERVATIONS, TEXAS
STATE PLANE COORDINATES, SOUTH CENTRAL ZONE, GRID.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

WESTAR REGISTRATION NO. 10111700

Westar Alamo
LAND SURVEYORS, LLC.
P.O. BOX 1843 DODDING, TEXAS 76008
PHONE (214) 372-8500 FAX (214) 372-8999

LEGEND

- - FIRM 1/2" SIGN ROD
- - RECORD INFORMATION
- - CONTROLLING MONUMENT
- - FIRM TYPE I MONUMENT
- - POWER POLE
- - TELEPHONE PEDISTAL
- - SET 1/2" IRON ROD
- - OVERHEAD ELECTROD
- - RING FENCE
- - METAL FENCE

DWG: AJS RVD: RJP
JOB NO. 112487

Property Address:
525 DRY HOLLOW ROAD
Property Description:
TRACT: 1
Being 0.500 acres of land, more or less, out of the Juan Delgado Grant Survey No. 8, Abstract 8, Wilson County, Texas, and being out of that 13,101 acres described in General Warranty Deed recorded in Document No. 101119, Official Public Records, Wilson County, Texas; said 0.500 acres being more particularly described by metes and bounds attached hereto.
TRACT: 2
Being 0.500 acres of land, more or less, out of the Juan Delgado Grant Survey No. 8, Abstract 8, Wilson County, Texas, and being out of that 13,101 acres described in General Warranty Deed recorded in Document No. 101119, Official Public Records, Wilson County, Texas; said 0.500 acres being more particularly described by metes and bounds attached hereto.

Owner:
T.B.O.

TITLE COMPANY: N/A

I, RUDOLF J. PATA, JR., Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plot represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown hereon.

RUDOLF J. PATA, JR.
Registered Professional Land Surveyor
Texas Registration No. 5388



NOTICE OF PUBLIC HEARING

The City of La Vernia Planning & Zoning Commission will hold a public hearing at the request of Mr. Drew Herley

Property: 13.101 acres described as Lot 159 (LOT 15 BLK 32) City of La Vernia (204 King St)

Request: to separate property into three (3) tracts (Tract 1 (0.50 acres) , 2 (0.50 acres) & 3) and possible resale of lots or re-deed to family members.

Because your property is located within 200 feet of the request, State Law requires that we notify you of the public hearing. **However, the zoning of your property will not be affected.** The public hearing process allows an opportunity to provide your written opinion of the request. This will aid the Commissioners in making their decision.

Public hearing for this request is scheduled before the Planning & Zoning Commission on Tuesday, April 5, 2022 at 6:30 PM in the City Hall Council Chambers, 102 E. Chihuahua St. and is open to the public. If you are unable to attend the hearing and desire to express an opinion in regard to the above petition, you may do so by completing the form below and return the form below, including your signature, and must be returned no later than 5:00 PM on Friday April 1, 2022.

Mail: City of La Vernia
Brittani Porter
102 E. Chihuahua St.
La Vernia, Texas 78121

Email: bporter@lavernia-tx.gov

If you have questions, please call Brittani Porter at (830) 779-4541 ext. 3.

Brittani Porter, City Secretary

YOUR OPINION MATTERS – DETACH AND RETURN

Circle one

I am (in favor) (opposed to) the proposed re-plat at 204 King St Lot 159 (LOT 15 BLK 32), La Vernia, Texas 78121.

Name: _____

Address: _____

Signature: _____

Date: _____

Comments: _____

By State Law – Unsigned submission cannot be counted as official comment.



City Council Meeting Agenda Item

Meeting Date: April 14th, 2022

Presentation

Discussion

Discussion/Action

Ordinance

Resolution

Other: _____

AGENDA ITEM:

Discussion Action on a entering into a lease agreement with LCRA Water Tower located behind Woodbridge. Resolution will be approved at the May agenda.

DISCUSSION:

LCRA has approached the city about installing an antenna on the water tower to assist with Wilson County Emergency Communication System. In exchange they will provide the city with the following:

- Two 20A emergency circuits from the emergency genitor switch to the inside of the water tower for the use of the City (Repeater and Water Tower)
- LCRA will provide the City of La Vernia one mobile radio and one portable radio
- Waive airtime fees for four radios (two additional radios) on the system for the life of the contract. - I have requested clarification on this, due to requested all radios.

BUDGET IMPACT:

None

STAFF RECOMMENDATION:

Approve

Attachments

Presentation provided by LCRA

City of La Vernia & LCRA Telecom

Moving to the Future of Emergency Communication Systems



Agenda

April 14, 2022

- Introductions
- LCRA and our Telecom System
- Wilson County Radio System
- Advantages of having an LCRA Partnership
- LCRA Proposal
- Next steps

LCRA Provides Vital Services



WATER

862 river miles, chain of dams



GENERATION

Power for cities and cooperatives



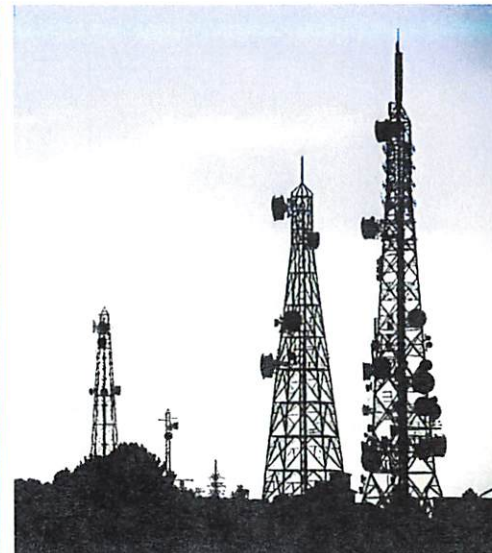
TRANSMISSION

5,500 miles of line in 75+ counties



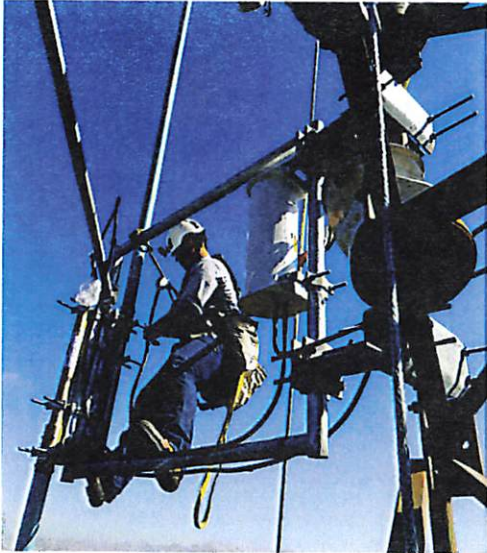
PARKS

40+ parks, community services



Always There to Support You

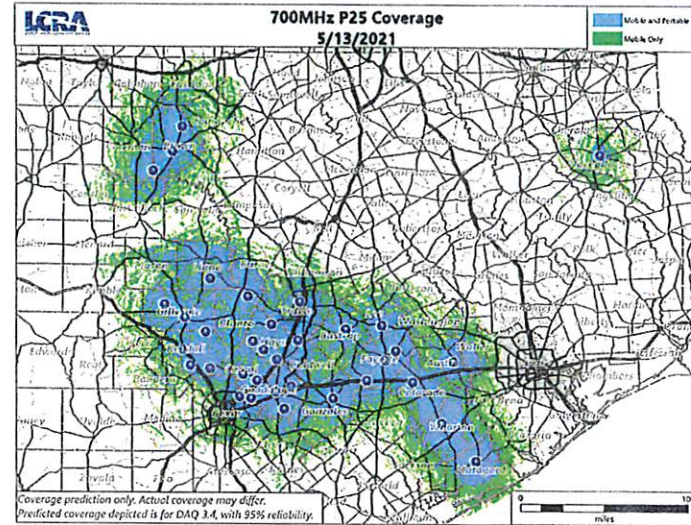
- 24x7x365 monitoring & support
- System design, installation, and monitoring
- Operate and maintain all electronics
- Replacement of obsolete hardware
- Software & firmware updates
- 99.9%+ reliability



Full-service Installation and Maintenance

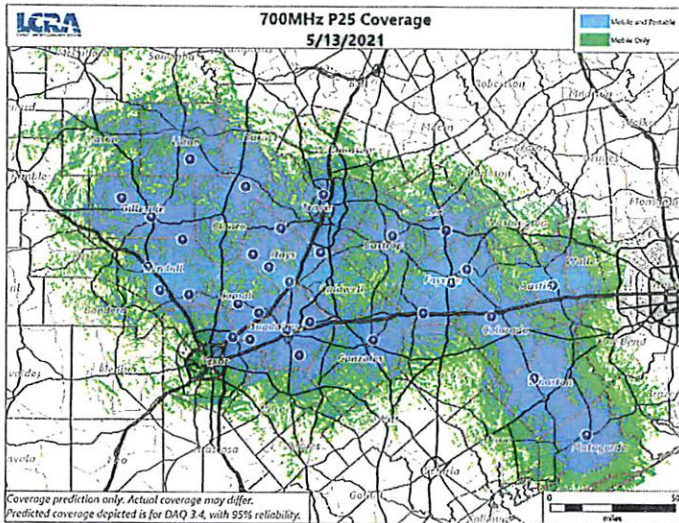
Our Radio Shop services include:

- Install & maintain dispatch consoles
- Radio sales, programming, & repair
- Configure radio personalities & talk groups
- Radio, light bar, camera installations
- Batteries, antennas, microphones
- Software & firmware updates
- FCC licenses and frequencies



LCRA 700MHz
Radio Coverage for
Public Safety

Sheriff / Police
Fire
Emergency



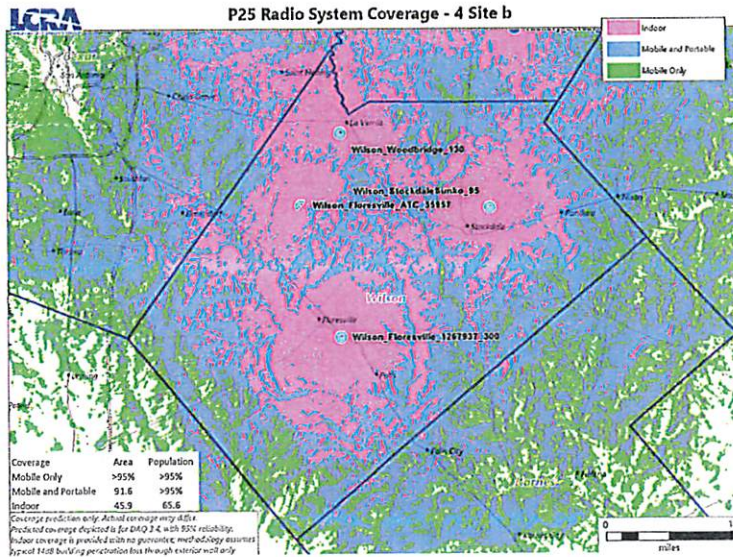
LCRA 700MHz
Radio Coverage for
Public Safety

Sheriff / Police
Fire
Emergency

Wilson County Radio System

Definition of System

- Wilson County is installing a four-site system within the county
- City of La Vernia Water Tower would be the northernmost site
- Other sites:
 - Floresville EDC tower
 - Stockdale
 - South of La Vernia near SH 775
- Project Completion in February 2023



Advantages of having LCRA on the City of La Vernia water tower

Discussion

- The Wilson County radio system will improve regional radio communications.
- La Vernia will have the opportunity for improved coverage on the 700/800 MHz band which is specifically reserved for law enforcement and first responders.
- The Wilson County radio system will increase the opportunity and quality of interoperability with surrounding counties and agencies. The location in La Vernia will allow for much better coverage on this frequency band when communicating with other agencies.

Advantages of having LCRA on the City of La Vernia water tower

Discussion

- All equipment associated with the system will be owned by Wilson County, but all equipment will be maintained by LCRA.
- Presence on the water tower will allow for future expansion of radio communications within the county:
 - La Vernia PD would have the opportunity and access to create their own dispatch center in town if that were to become a necessity
 - All county entities will have access to the system to improve regional communications, especially in and around La Vernia

City of La Vernia and LCRA Partnership Proposal

Discussion

- LCRA proposes a no cost service agreement with concessions in lieu of lease fees for the attachment and use of the water tower grounds.
- LCRA proposes a twenty-year agreement with the City of La Vernia with a one-year auto renewal option indefinitely.
- LCRA proposes fencing to enclose the shelter, generator, and propane tank.

City of La Vernia and LCRA Partnership Proposal

Discussion

- LCRA would like to propose the following concessions for the city:
 - LCRA will provide two 20A emergency circuits from the emergency generator switch to the inside of the water tower for the use of the City of La Vernia
 - LCRA will provide the City of La Vernia one XG-25 mobile radio and one XL-45 portable radio for use on the 700/800MHz Wilson County radio system
 - LCRA will waive the airtime fees for four radios (two additional radios) on the system for the life of the contract
- Approval of key terms between The City of La Vernia and LCRA
- City of La Vernia provides the structural drawings, Geotech survey, and SUE survey for review by LCRA
- Finalization of geographical locations of radio system structures
- Legal agreement(s) drawn up between the City of La Vernia and LCRA

Next Steps

Khalil Coltrain

(254) 458-1827

khalil.coltrain@lcra.org

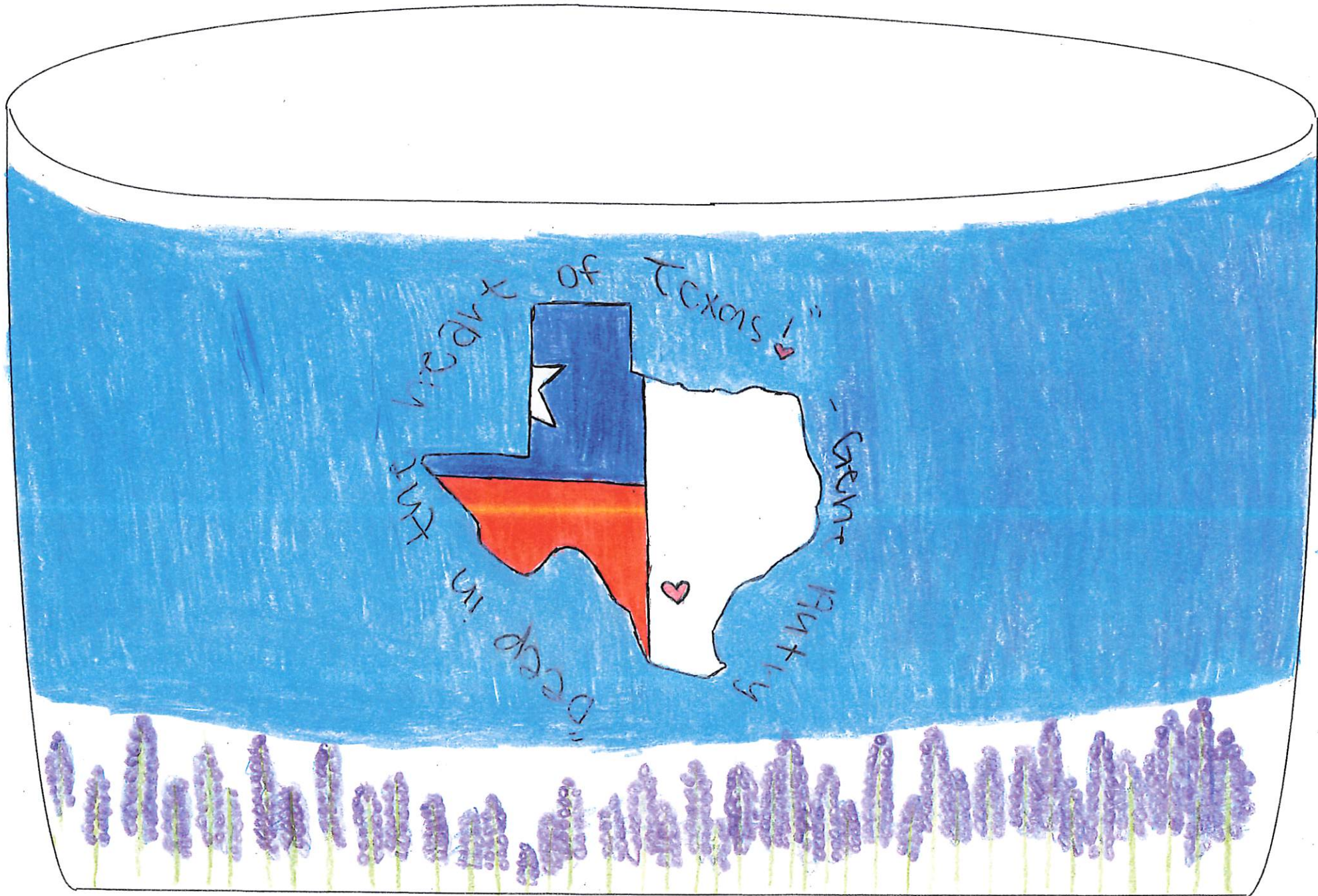
Disclaimer

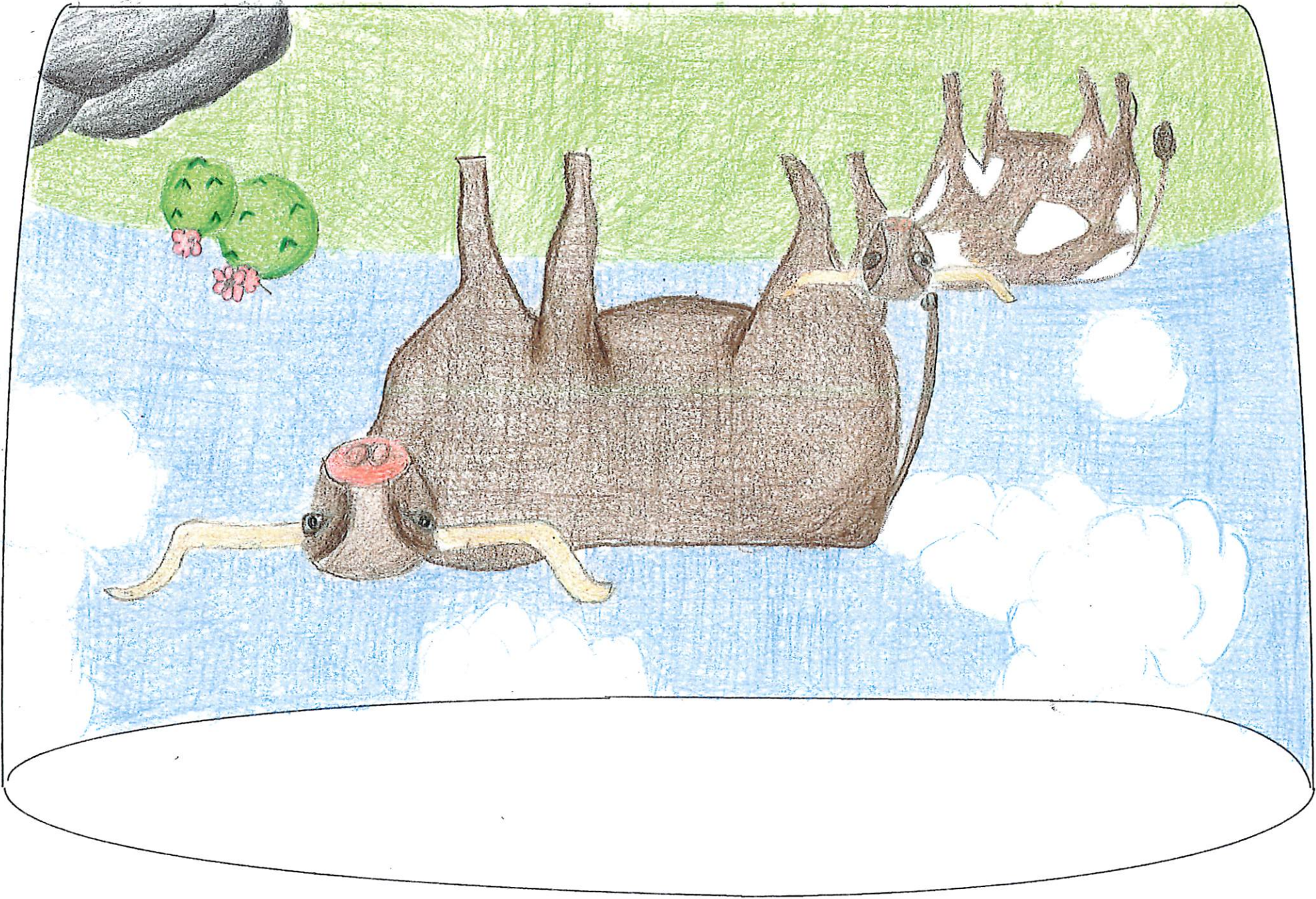
This presentation is for informational purposes only and is not intended as an offer for the purchase or sale of any services or equipment. No data or other information contained herein is warranted or guaranteed.

All estimates contained in this presentation are based on current labor and material rates and are presented in an effort to accurately convey a preliminary outline of expenses related to the project as currently outlined. Actual costs will be defined, in detail, in a final proposal, and may vary.

LCRA Telecommunication radio services are provided on a non-profit, cost shared basis. Services are available only to eligible organizations, LCRA is not a common carrier.

Planter drawing draft side 1





Planter drawing draft side 1

Planter drawing draft side 1



ORDINANCE NO. 041422-01

AN ORDINANCE OF THE CITY OF LA VERNIA, TEXAS AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2021 AND ENDING SEPTEMBER 30, 2022; AND OTHER MATTERS IN CONNECTION THEREWITH.

WHEREAS, the Budget dated September 9, 2021 for the Fiscal Year Beginning October 1, 2021 and ending September 30, 2022 has, heretofore, been adopted on September 9, 2021; and

WHEREAS, the City Administrator of the City of La Vernia, Texas (herein the "City") has requested budget amendment for mid-year review and;

WHEREAS, the City Council has reviewed the amendment prepared by the City Administrator and finds it to be in the best interest of the citizens of La Vernia.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LA VERNIA, TEXAS, THAT:

Section 1. Budget

The City hereby approves budget amendment, attached as Exhibit A.

Section 2. Severability

If any provision of this Ordinance or the application thereof to any person or circumstance shall be held to be invalid, the remainder of this Ordinance and the application of such provision to other persons and circumstances shall nevertheless be valid, and the City hereby declares that this Ordinance would have been enacted without such invalid provision.

Section 3. Conflict of Ordinances

Ordinances or parts of Ordinances in conflict herewith are hereby repealed and are no longer of any force and effect.

Section 4. Effective Date

This ordinance shall take effect upon City Council approval.

PASSED, APPROVED AND APPROVED this 14th day of May 2022.

Robert Gregory
Mayor, City of La Vernia

ATTEST:

Brittani Porter,
City Secretary, City of La Vernia

APPROVED AS TO FORM:

City Attorney's Office
City of La Vernia

10/2021 Thru 09/2022

Account Number	Description	Budget	Actual	Balance	Percent	+/-	New Budget	New Balance
10-400-065	PERMITS Increased building	60,000.00	95,692.66	(35,692.66)	159%	50,000.00	110,000.00	14,307.34
10-500-300	CONTRACT SERVICES - BV Increased building	45,000.00	34,526.33	10,473.67	77%	10,000.00	55,000.00	20,473.67
10-510-214	BUILDING EXPENSES - CH	0.00	28,248.99	0.00		60,000.00	60,000.00	31,751.01
10-510-300	NATIONAL NIGHT EXPENSES	1,000.00	1,732.60	(732.60)	173%	750.00	1,750.00	17.40
10-510-490	ADS New roof, removal of mold and remodel of city hall. Ads are up due to replats/rezoning	500.00	623.00	(123.00)	125%	400.00	900.00	277.00
10-515-271	TECHNOLOGY/SOFTWARE UPGRADES Installation of new Court Software - Balance will come out of Court Technology	2,650.00	1,200.00	1,450.00	45%	7,000.00	9,650.00	8,450.00
10-520-015	OVERTIME	5,000.00	7,506.06	(2,506.06)	150%	10,000.00	15,000.00	7,493.94
10-520-240	TELEPHONE Police overtime is due COVID, turnover and vacation/time off	3,500.00	3,527.37	(27.37)	101%	5,000.00	8,500.00	4,972.63
10-530-214	BUILDING MAINTENANCE - PW New line item - To finish out building that was donated to PW					10,000.00	10,000.00	10,000.00
10-580-015	OVERTIME	1,500.00	1,600.10	(100.10)	107%	500.00	2,000.00	399.90
10-580-655	REPAIR AND MAINTENANCE Increase due to parking lot at city park	1,000.00	211,577.94	(210,577.94)	21158%	800,000.00	801,000.00	589,422.06
15-400-100	HOTEL TAX REVENUE	55,000.00	32,455.68	22,544.32	59%	5,000.00	60,000.00	27,544.32
15-500-200	HOTEL ABATEMENT EXPENSE Hotel has done very well which increases the taxes and abatement expense	29,000.00	55,208.48	(26,208.48)	190%	27,000.00	56,000.00	791.52
35-900-100	ANNUAL SOFTWARE MAINTENANCE Balance of Court Software	2,675.00	0.00	2,675.00	0%	5,000.00	7,675.00	7,675.00
40-400-560	NEW WATER HOOKUP FEES Increase of new homes	8,000.00	11,339.69	(3,339.69)	142%	7,000.00	15,000.00	3,660.31

ORDINANCE NO. 041422-02

AN ORDINANCE OF THE CITY OF LA VERNIA, TEXAS AMENDING CHAPTER 6, ARTICLE II OF THE CITY OF LA VERNIA'S CODE OF ORDINANCES TO ADOPT UPDATED INTERNATIONAL CODES GOVERNING BUILDING STANDARDS IN THE CITY; PROVIDING SEVERABILITY, CUMULATIVE AND REPEALER CLAUSES; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of La Vernia has previously adopted various building codes in order to establish uniform rules and regulations governing the orderly, efficient and environmentally sound development of land and construction of buildings and other structures within its corporate limits; and

WHEREAS, the City Council has determined that it is necessary to amend the City's code to update the City's building and construction standards to address the increase in development within the city and improvements in technology relating to building construction and to ensure that construction in the city is done in a manner that protects the health and safety of the citizens of La Vernia; and

WHEREAS, Local Government Code §51.012 gives municipalities authority to adopt any ordinance, act, law or regulation, not inconsistent with state law, that is necessary for the government interest, welfare, or good order of the municipality; and

WHEREAS, the City Council of the City of La Vernia finds that poorly constructed buildings constitute a nuisance and a threat to the public health, safety and general welfare; and

WHEREAS, this Ordinance in conjunction with any other land use control tool as may be adopted by the City, provides appropriate guidelines and mechanisms to achieve orderly, efficient, and environmentally sound development and use of land as well as construction of buildings while promoting the health, safety and general welfare of the municipality.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LA VERNIA, TEXAS:

Section 1. Code of Ordinances Amended

Chapter 6, Article II of the City's Code of Ordinances is hereby amended as follows:

**DIVISION 2. RESIDENTIAL CODE
International Residential Code adopted.**

The *International Residential Code*, 2018 edition, including the Appendix (see *International Residential Code* Section R102.5, 2018 edition), as published by the International Code Council, be and is hereby adopted as the Residential Code of the City of La Vernia, in the State of Texas for regulating and governing the construction, alteration, movement, enlargement, replacement, repair, equipment, location, removal and demolition of detached one- and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with separate means of egress as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Residential Code on file in the office of the City of La Vernia are

hereby referred to, adopted, and made a part hereof, as if fully set out in this ordinance, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 3. ENERGY CONSERVATION CODE
International Energy Conservation Code adopted.

The *International Energy Conservation Code*, 2018 edition, as published by the International Code Council, be and is hereby adopted as the Energy Conservation Code of the City of La Vernia, in the State of Texas for regulating and governing energy efficient building envelopes and installation of energy efficient mechanical, lighting and power systems as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Energy Conservation Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any,

DIVISION 4. PROPERTY MAINTENANCE CODE
International Property Maintenance Code adopted.

The *International Property Maintenance Code*, 2018 edition, as published by the International Code Council, be and is hereby adopted as the Property Maintenance Code of the City of La Vernia in the State of Texas for regulating and governing the conditions and maintenance of all property, buildings and structures; by providing the standards for supplied utilities and facilities and other physical things and conditions essential to ensure that structures are safe, sanitary and fit for occupation and use; and the condemnation of buildings and structures unfit for human occupancy and use, and the demolition of such existing structures as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Property Maintenance Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 5. BUILDING CODE
International Building Code adopted.

The *International Building Code*, 2018 edition, including the Appendix, (see *International Building Code* Section 101.2.1, 2018 edition), as published by the International Code Council, be and is hereby adopted as the Building Code of the City of La Vernia, in the State of Texas for regulating and governing the conditions and maintenance of all property, buildings and structures; by providing the standards for supplied utilities and facilities and other physical things and conditions essential to ensure that structures are safe, sanitary and fit for occupation and use; and the condemnation of buildings and structures unfit for human occupancy and use and the demolition of such structures as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Building Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 6. NATIONAL ELECTRICAL CODE
National Electrical Code adopted.

The *National Electrical Code*, 2017 edition, including the Appendix, be and is hereby adopted as the Electrical Code of the La Vernia, in the State of Texas regulating and governing the design, construction, quality of materials, erection, installation, alteration, repair, location, relocation, replacement, addition to, use or maintenance of electrical systems as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Electrical Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this ordinance, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 7. INTERNATIONAL FIRE CODE
International Fire Code adopted.

The *International Fire Code*, 2021 edition, including the Appendix (see *International Fire Code* Section 101.2.1, 2021 edition), as published by the International Code Council, be and is hereby adopted as the Fire Code of the City of La Vernia, in the State of Texas regulating and governing the safeguarding of life and property from fire and explosion hazards arising from the storage, handling and use of hazardous substances, materials and devices, and from conditions hazardous to life or property in the occupancy of buildings and premises as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Fire Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 8. INTERNATIONAL FUEL GAS CODE
International Fuel Gas Code adopted.

The *International Fuel Gas Code*, 2018 edition, including the Appendix (see *International Fuel Gas Code* Section 101.3, 2018 edition), as published by the International Code Council, be and is hereby adopted as the Fuel Gas Code of the City of La Vernia in the State of Texas for regulating and governing fuel gas systems and gas-fired appliances as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Fuel Gas Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this ordinance, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 9. INTERNATIONAL MECHANICAL CODE
Mechanical Code adopted.

The *International Mechanical Code*, 2018 edition, including the Appendix Chapters, as published by the International Code Council, be and is hereby adopted as the Mechanical Code of the City of La Vernia in the State of Texas regulating and governing the design, construction, quality of materials, erection, installation, alteration, repair, location, relocation, replacement, addition to, use or maintenance of mechanical systems as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations,

provisions, penalties, conditions and terms of said Mechanical Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

DIVISION 10. INTERNATIONAL PLUMBING CODE
International Plumbing Code adopted.

The *International Plumbing Code*, 2018 edition, including the Appendix Chapters, as published by the International Code Council, be and is hereby adopted as the Plumbing Code of the City of La Vernia in the State of Texas regulating and governing the design, construction, quality of materials, erection, installation, alteration, repair, location, relocation, replacement, addition to, use or maintenance of plumbing systems as herein provided; providing for the issuance of permits and collection of fees therefor; and each and all of the regulations, provisions, penalties, conditions and terms of said Plumbing Code on file in the office of the City of La Vernia are hereby referred to, adopted, and made a part hereof, as if fully set out in this legislation, with the additions, insertions, deletions and changes, if any, prescribed in Section 2 of this ordinance.

Section 2. Relation to Other Ordinances

This ordinance shall not be construed to require or allow any act which is prohibited by any other ordinance.

Section 3. Savings Clause

The repeal or amendment of any ordinance or part of ordinances effectuated by the enactment of this ordinance shall not be construed as abandoning any action now pending under or by virtue of such ordinance or as discontinuing, abating, modifying, or altering any penalty accruing or to accrue or as affecting any rights of the City of La Vernia under any section or provisions of any ordinances in effect at the time of passage of this ordinance.

Section 4. Cumulative

The provisions of this ordinance shall be cumulative of all ordinances not repealed by this ordinance and ordinances governing or regulating the same subject matter as that covered herein.

Section 5. Severability

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and section of this ordinance be severable, and, if any phrase, clause, sentence, paragraph, or section of this ordinance shall be declared invalid by judgment or decree of any court of competent jurisdiction, such invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this ordinance and the remainder of this ordinance shall be enforced as written.

Section 6. Repealer

All other ordinances or parts of ordinances in conflict with the provisions of this ordinance and the codes adopted herein are hereby repealed to the extent of any conflict.

Section 7. Effective Date

This ordinance shall become effective upon adoption by the city council and execution by the mayor as required by law.

PASSED AND APPROVED, this, the 14th day of April, 2022.

Robert Gregory, Mayor

ATTEST:

Brittani Porter, City Secretary

APPROVED AS TO FORM:

City Attorney's Office

2018 IRC Update

Based on the 2018 International Residential Code,® (IRC®)

ICC LEARNING CENTER

The *International Residential Code*® (IRC®) establishes minimum regulations for residential construction. This handout will identify important changes in the IRC from 2015 to 2018 edition. Participants will be presented with those changes that will most impact their use of the code when they adopt these I-Codes. The learner will receive an overview of the most important code changes.

Goal

Participants will be able to use this document to identify changes between the 2015 and 2018 IRC allowing them to apply these code requirements to design, plan submittals and/or inspection.

The lecture and activity format allows participants to discuss the changes, reasons for the changes, and answer knowledge review questions. Information presented will allow participants to apply these new code requirements to design, plan review, and/or inspection.

Objectives

Upon completion, participants will be better able to:

- Identify the most significant differences between the 2015 and the 2018 IRC.
- Explain the differences between the current and previous edition.
- Identify changes in organization and code requirements.
- Identify the applicability of design, plan review and inspection requirements.

Content

Chapters of the IRC included in this handout:

- Chapter 1, Scope and Administration
- Chapter 3, Building Planning
- Chapter 4, Foundations
- Chapter 5, Floors
- Chapter 6, Wall Construction
- Chapter 7, Wall Covering
- Chapter 8, Roof-ceiling Construction
- Chapter 9, Roof Assemblies
- Chapter 10, Chimneys and Fireplaces
- Chapter N11, Energy Efficiency
- Chapter M13, General Mechanical System Requirements
- Chapter M16, Duct Systems
- Chapter M21, Hydronic Piping
- Chapter G24, Fuel Gas
- Chapter P 25, Plumbing Administration
- Chapter P27, Plumbing Fixtures
- Chapter P28, Water Heaters
- Chapter P29, Water Supply and Distribution
- Chapter P30, Sanitary Drainage
- Chapter P31, Vents
- Chapter E37, Branch Circuit and Feeder Requirements
- Chapter E39, Power and Lighting Distribution
- Chapter E41, Appliance Installation
- Appendix Q, Tiny Homes

Chapter 1: Scope and Administration			
Code Section		Section Title	Description of Change
2018	2015		
Modification R101.2	R101.2	Scope	All instances where the International Building Code (IBC) permits construction under the IRC are now listed in the exception to the scope of the IRC.
Clarification R105.1, R110.1, R202	R105.1, R110.1, R202	Change of Occupancy	A definition for "Change of Occupancy" has been added and the requirement for a certificate of occupancy when there is a change of occupancy or use has been clarified.

Chapter 3: Building Planning			
Code Section		Section Title	Description of Change
2018	2015		
Modification Table R301.2(1)	Table R301.2(1)	Climatic and Geographic Design Criteria	The requirement for a Manual J assessment or engineered equivalent has been in the International Residential Code for several editions. To assist the designer, jurisdictions will now include variables for Manual J assessments with other climatic and geographic design criteria available from the building department.
Modification R301.2.2.1	R301.2.2.1	Seismic Design Category	New seismic design category (SDC) maps are included in the 2018 IRC. One map contains the most conservative 'good quality' soil type, assuming Site Class C or D, and may increase the local SDC. The second map is allowed if the site is identified as being Site Class A, B or D by geotechnical report or known local soil conditions; this map may lower the design spectral response acceleration, S_{DS} , potentially lowering the seismic design category.
Modification R302.1	R302.1	Exterior Walls	References to the International Building Code (IBC) offer additional options and provide flexibility in determining the fire resistance rating of exterior wall assemblies. Table footnotes have been revised to clarify the correlation between gable end vents and the fire resistance requirements for projections.
Modification R302.2	R302.2	Townhouse Separation	Two paths for achieving the fire-resistant separation between townhouse dwelling units – two 1-hour walls or a common wall – are spelled out in the townhouse provisions.
Modification R302.13	R302.13	Fire Protection of Floors above Crawl Spaces	Fire-resistant membrane protection is now required for the applicable floor framing materials above crawl spaces containing fuel-fired or electric-powered heating appliances.

Chapter 3: Building Planning, Continued			
Code Section		Section Title	Description of Change
2018	2015		
Modification R308.4.2	R308.4.2	Glazing Adjacent to Doors	Glazing within 24 inches of the hinge side of an in-swinging door now requires safety glazing where the glazing is at an angle less than 180 degrees from the plane of the door.
Modification R308.4.4	R308.4.4	Glazing in Guards and Railings	Unless laminated glass is used, structural glass baluster panels in guards now require an attached top rail or handrail.
Clarification R308.4.7	R308.4.7	Glazing Adjacent to the Bottom Stair Landing	Figure R308.4.7 has been replaced with a new figure and the caption modified to more accurately reflect when safety glazing is required near the bottom landing.
Modification R310.1	R310.1	Emergency Escape and Rescue Openings	Emergency escape and rescue openings are no longer required for bedrooms in basements when the dwelling unit is protected with an automatic fire sprinkler system and other conditions are met.
Modification R310.3	R310.3	Area Wells for Emergency Escape and Rescue Doors	For emergency escape and rescue doors in basements, a change in terminology replaces "bulkhead enclosures" with "area wells" and provisions for ladders and steps for area wells are added.
Modification R311.7.1, R311.7.8	R311.7.1, R311.7.8	Handrail Projection	A new exception to the handrail projection limitation provides for adequate clearance behind the handrail when it passes the projection of a floor, landing or tread return.
Modification R311.7.3	R311.7.3	Maximum Stair Rise between Landings	The maximum rise of a flight of stairs has increased by 4 inches, from 147 to 151 inches.
Modification R311.7.11, R311.7.12	R311.7.11, R311.7.12	Alternating Tread Devices and Ships Ladders	Alternating tread devices and ships ladders are now permitted as a means of egress for lofts with an area that does not exceed 200 square feet.
Clarification R312.1	R312.1	Guards	The guard requirements only apply to the specific portion of a walking surface that exceeds 30 inches above grade.
Modification R314	R314	Smoke Alarms	The exemption for interconnection of alarms during alterations based on feasibility has been removed from the code.
Modification R315	R315	Carbon Monoxide Alarms	Interconnection is now required where multiple carbon monoxide alarms are required in a dwelling unit.

Chapter 3: Building Planning, Continued			
Code Section		Section Title	Description of Change
2018	2015		
Modification R322.3	R322.3	Coastal High-Hazard Flood Zones	In coastal high-hazard areas (V Zones) and Coastal A Zones, the IRC now provides specific guidance for the design and construction of concrete slabs, stairs, guards, decks and porches to reduce damage to the dwelling in a flood event.
Addition R324.6		Roof Access for Photovoltaic Solar Energy Systems	Requirements for roof access and pathways for firefighters have been introduced into the IRC provisions for rooftop mounted photovoltaic solar energy systems.
Addition R324.6.2.2		Solar Panels near Emergency Escape and Rescue Openings	Rooftop mounted photovoltaic solar energy panels and modules are not permitted to be installed below emergency escape and rescue openings.
Modification R325.3		Mezzanine Area Limitation	The area limitation for mezzanines has been increased from one-third to one-half of the area of the room containing the mezzanine under certain conditions.
Addition R325.6, R202		Habitable Attics	The definition of habitable attic has been revised and the technical requirements have been placed with mezzanines.

Chapter 4: Foundations			
Code Section		Section Title	Description of Change
2018	2015		
Modification Table R403.3(1)	Table R403.3(1)	Insulation requirements for frost protected footings	Insulation thickness requirements for Type II and IX extruded polystyrene (EPS) have changed. The minimum R-value for specific types of EPS has been clarified while requirements for horizontal insulation were added.
Modification Table R403.4	Table R403.4	Crushed stone footings	Table R403.4 is updated to include both the minimum depth and width of a crushed stone footing for a precast concrete wall.
Modification R408.3	R408.3	Unvented crawl space	Ventilation of the under-floor space is not required when an adequately-sized dehumidifier is provided.

Chapter 5: Floors			
Code Section		Section Title	Description of Change
2018	2015		
Modification R507	R507	Decks	Section R507 is reorganized for ease of use and additional provisions are added to simplify prescriptive construction of a deck.
Modification R507.2	R507.2, R507.3	Deck materials	Section R507.2 adds requirements for fasteners and fastener connections, flashing and alternative materials.
Addition R507.3		Deck footings	A new section on footing minimum size is added to help describe minimum prescriptive (non-engineered) requirements for an exterior deck footing based on snow load, soil quality, and footing shape and size.
Clarification R507.6	R507.5	Deck joists	Maximum joist spacing and total length have been clarified. In Table R507.6, maximum span length is listed followed by maximum cantilever length.
Clarification R507.7- R507.9	R507.2, R507.4	Decking, Vertical and Lateral Support	Decking material options and fastener systems are clarified. Vertical and horizontal support of an exterior deck is updated while support and attachment of ledgers is added to the decking section.

Chapter 6: Wall Construction			
Code Section		Section Title	Description of Change
2018	2015		
Addition Table R602.3(6)		Alternate Stud Height	To help clarify when studs greater than 10 feet long may be used, an exception is added to Section R602.3.1 as well as a reference to new Table R602.3(6) which applies only to 11- and 12-foot tall walls in one- and two-story buildings.
Modification Tables R602.7(1), R602.7(2)	Tables R602.7(1), R602.7(2)	Girder and Header Spans	Girder and header spans are updated assuming No. 2 Southern Pine rather than No. 1 Southern Pine as used in the 2015 IRC. A footnote is added to clarify that headers and girders are assumed to be braced; for headers with pony walls above, a further reduction in span is taken for 2x8 and larger headers.
Modification Table R602.7.5	Table R602.7.5	Support for headers	The 2015 IRC full height stud table is significantly altered. The table increases the number of king studs in higher wind regions and requires only one or two king studs at each end of a header in regions with 115 mph wind speeds.
Modification Table R602.10.3 (4)	Table R602.10.3 (4)	Seismic Adjustment Factors	Attempts to clarify roof and ceiling dead loads in the top story of a multi-story dwelling and use of the BV-WSP bracing method have been added. Table R602.10.3(4) now allows use of Methods WSP and CS-WSP with brick veneer in the second story of a dwelling.

Chapter 6: Wall Construction, Continued			
Code Section		Section Title	Description of Change
2018	2015		
Modification R602.10.4.1	R602.10.4.1	Mixing bracing methods	Mixing of continuous sheathing methods with an intermittent alternate bracing method is clarified. Braced wall line(s) containing an alternate method must have sufficient bracing length for an intermittent method, not just for the continuous sheathing method when the alternate method is Method PFH, PFG or ABW.
Modification R602.10.6.5	R602.10.6.5	Method BV-WSP	An attempt to clarify use of the BV-WSP method is made. New limits are added to Section R602.10.6.5.
Modification Tables R603.3.1, R603.3.1.1 (2)	Tables R603.3.1, R603.3.1.1 (2)	Cold-Formed Steel Wall Construction	Cold-formed steel connection tables are updated for wind speeds less than 140 miles per hour. Values in the IRC tables now match AISI S230, Standard for Cold-Formed Steel Framing - Prescriptive Method for One- and Two-Family Dwellings.

Chapter 7: Wall Covering			
Code Section		Section Title	Description of Change
2018	2015		
Modification R703.2	R703.2	Water-resistive barrier	Water-resistive barrier materials other than No. 15 asphalt felt must be installed following the manufacturer's installation instructions. The exemption for detached accessory buildings is deleted.
Modification R703.3.1	R703.3.1, R703.11.1.4	Soffit installation	Requirements for wood structural panel soffits are added to Section R703.3.1 and vinyl soffit requirements are clarified.
Modification R703.8.4	R703.8.4	Veneer anchorage through insulation	Masonry veneer is explicitly allowed to attach to through insulation into the underlying wood structural panels. Attachment must follow Table R703.8.4(2).
Modification R703.11.2	R703.11.2	Vinyl siding installation over foam plastic sheathing	Testing has been done on vinyl siding over insulation in an attempt to determine fastener requirements for vinyl siding attachment in high wind regions. New Table R703.11.2 gives design wind pressures for vinyl siding resisting all wind loads without reliance on wood structural panel sheathing.

Chapter 8: Roof-Ceiling Construction			
Code Section		Section Title	Description of Change
2018	2015		
Modification R802	R802	Roof Framing	Section R802, Design and construction of roofs, has been clarified by dividing the content into three separate sections on roof ridges, rafters and ceiling joists.
Modification R802.1.5.4	R802.1.5.4	Labeling	Each stick of fire-retardant-treated lumber and individual wood structural panel will be labeled with eight specific items of information
Modification R806.2	R806.2	Minimum vent area	The minimum vent area exception is clarified, stating that net free ventilation may be less than 1/150 only if two required conditions are met. Lower vents must be located in the bottom third of the attic space.

Chapter 9: Roof Assemblies			
Code Section		Section Title	Description of Change
2018	2015		
Addition R905.17		Building Integrated Photovoltaic Panels	New Section R905.17 addresses installation and attachment of building-integrated photovoltaic (BIPV) roof panels.

Chapter 10: Chimneys and Fireplaces			
Code Section		Section Title	Description of Change
2018	2015		
Addition R1005.8		Chimney insulation shield	Factory-built chimneys, which have been required to maintain a minimum clearance to insulation, are now required to have an insulation shield to provide the clearance to the insulation.

Chapter 11: Energy Efficiency			
Code Section		Section Title	Description of Change
2018	2015		
Clarification N1101.6, Tables N1101.10.3 (1) and N1101.10.3 (2)	N1101.6, Tables N1101.10.3 (1) and N1101.10.3 (2)	Fenestration Definitions and U-Factors	The definitions for skylights and vertical fenestration have been moved under the definition for fenestration, and a definition for opaque door has been added.

Chapter 11: Energy Efficiency, Continued			
Code Section		Section Title	Description of Change
2018	2015		
Modification N1102.1	N1102.1	Building Thermal Envelope for Log Homes	Log homes are now exempt from the prescriptive building thermal envelope requirements when designed in accordance with ICC-400, <i>Standard on the Design and Construction of Log Structures</i> .
Modification N1102.1.2 and N1102.1.4	N1102.1.2 and N1102.1.4	Insulation and Fenestration Requirements	The prescriptive U-factors for fenestration have been lowered to improve the energy efficiency of dwellings and townhouses.
Modification N1102.2.2	N1102.2.2	Reduction of Ceiling Insulation	When applying the exception for insulation in ceilings without attics, the insulation must extend to the outside of the top plate.
Clarification N1102.2.5	N1102.2.5	Mass Walls	The mass wall provisions have been itemized in a numbered list to bring accuracy and clarity to the technical requirements.
Modification N1102.2.6	N1102.2.6	Cold-Formed Steel Framing R-Values	Conflicting entries have been removed from the table establishing cold-formed steel R-values equivalent to those for wood framing.
Modification N1102.4	N1102.4	Testing for Air Leakage	A new standard for air-leakage testing, RESNET/ICC 380, is now referenced in the IRC to provide flexibility for the testing industry.
Addition N1103.3.6 and N1103.3.7		Ducts Buried within Ceiling Insulation	New provisions address the methods, minimum coverage requirements and thermal benefits for ducts buried within ceiling insulation, and when those ducts are considered inside the building thermal envelope.
Modification N1104.1	N1104.1	Lighting	The required percentage of permanent lighting fixtures having high-efficacy lamps has increased from 75 to 90 percent.
Modification N1106.3, N1106.4	N1106.3, N1106.4	Maximum Energy Rating Index	The maximum rating index values based on climate zone have increased slightly to make the ERI provisions less restrictive and improve the flexibility of the energy provisions.

Chapter M13: General Mechanical System Requirements			
Code Section		Section Title	Description of Change
2018	2015		
Deletion M1305.1.1	M1305.1.1	Access to Furnaces within Compartments	The appliance access requirements for furnaces in compartments have been removed from the code in favor of other code provisions and the manufacturer's instructions.
Modification M1305.1.3.2	M1305.1.4.2	Appliances Installed in Pits	The requirements for appliance installation in pits has been expanded to provide more detail and to be similar to language found in other ICC codes. The minimum bottom clearance has been reduced from 6 inches to 3 inches.

Chapter 15: Exhaust Systems			
Code Section		Section Title	Description of Change
2018	2015		
Modification M1502.3.1	M1502.3.1	Dryer Exhaust Duct Termination	A minimum area of 12.5 square inches has been established for the terminal outlet of dryer duct exhaust.
Modification M1502.4.2	M1502.4.2	Concealed Dryer Exhaust Ducts	Wall and ceiling cavities enclosing dryer exhaust duct must provide sufficient space that the 4-inch duct is not squeezed out of its round shape.
Modification M1503.6	M1503.6	Makeup Air for Kitchen Exhaust Systems	Makeup air for domestic cooking exhaust systems is no longer required if all fuel-burning appliances in the dwelling unit have a direct vent or mechanical draft vent system.

Chapter M16: Duct Systems			
Code Section		Section Title	Description of Change
2018	2015		
Modification M1601.1.2	M1601.1.2	Underground Duct Systems	Underground ducts, including both direct-burial ducts and those encased in concrete, require sealing and testing.

Chapter M21: Hydronic Piping			
Code Section		Section Title	Description of Change
2018	2015		
Modification M2101.10	M2101.10	Pressure Tests for Hydronic Piping	Compressed air testing of PEX hydronic piping is now allowed when testing is in accordance with the manufacturer's instructions.
Modification M2103.2	M2103.2	Thermal Barrier for Radiant Floor Heating Systems	For hydronic floor heating systems, the minimum insulation R-values have been removed from Section M2103.2 and a reference to the energy provisions of Chapter 11 has been added.

Chapter G24: Fuel Gas			
Code Section		Section Title	Description of Change
2018	2015		
Modification G2406.2	G2406.2	Prohibited Locations for Appliances	A gas-fired clothes dryer is now allowed to be installed in a bathroom and toilet room where a permanent opening communicates with other permitted spaces.
Modification G2411.2, G2411.3	G2411.2, G2411.3	Electrical Bonding of CSST	The existing provisions for electrical bonding apply to CSST without an arc-resistant jacket or coating and a new section addresses electrical continuity and bonding of arc-resistant CSST.
Modification G2414.4.2, G2414.10.1	G2414.4.2, G2414.10.1	Schedule 10 Steel Gas Piping	The code now allows Schedule 10 steel pipe to be used for fuel gas piping.
Modification G2415.11	G2415.11	Protection against Corrosion	Reorganization of this section includes new provisions to address corrosion protection of underground steel gas piping and protection for steel risers other than anodeless risers.
Clarification G2420.5.1	G2420.5.1	Shutoff Valve Location	Shutoff valves located behind movable appliances are considered as meeting the requirement for access.
Addition G2420.6		Support for Shutoff Valves in Tubing Systems	Shutoff valves in gas tubing systems require rigid support separate from the tubing to prevent damage at the valve connection.
Deletion G2442.2	G2442.2	Forced Air Furnace Duct Size	The prescriptive duct size requirements for forced air furnaces have been deleted in favor of other sizing methods specific to the appliance.
Modification G2447.2	G2447.2	Commercial Cooking Appliances	Commercial cooking appliances are now permitted in dwelling units when installed in accordance with an engineered design and the manufacturer's instructions.

Chapter P25: Plumbing Administration			
Code Section		Section Title	Description of Change
2018	2015		
Modification P2503.7	P2503.7	Air Testing of PEX Piping	Compressed air testing of PEX water supply piping is now allowed when testing is in accordance with the manufacturer's instructions.

Chapter P26: General Plumbing Requirements			
Code Section		Section Title	Description of Change
2018	2015		
Modification P2602.1	P2602.1	Connections to Public Sewer or Private Sewage Disposal System	The International Private Sewage Disposal Code (IPSDC) is referenced for installation of private sewage disposal systems where there are no state or local requirements for such systems.

Chapter P27: Plumbing Fixtures			
Code Section		Section Title	Description of Change
2018	2015		
Modification P2704	P2704	Slip Joint Connections	Slip joint connections are permitted anywhere between the fixture outlet and the drainage piping, and are no longer limited to the trap inlet, outlet and trap seal locations.
Modification P2713.1	P2713.1	Bathtub Overflow	Bathtub overflow outlets are no longer required.

Chapter P28: Water Heaters			
Code Section		Section Title	Description of Change
2018	2015		
Modification P2801.6	P2801.6	Plastic Pan for Gas-Fired Water Heaters	Plastic safety pans are now allowed under gas water heaters provided the material falls within the prescribed flame spread and smoke developed indices.

Chapter P29: Water Supply and Distribution			
Code Section		Section Title	Description of Change
2018	2015		
Modification P2902.5.4, P2904.	P2902.5.4, P2904.	Backflow Protection for Fire Sprinkler Systems	Sections P2902.5.4 and P2904.1 are revised and coordinated to clarify that stand-alone and multipurpose fire sprinkler systems complying with Section P2904 or NFPA 13D do not require backflow protection under most circumstances.
Modification P2903.5	P2903.5	Water Hammer Arrestors	A water hammer arrestor is now required where quick-closing valves are used in the water distribution system.
Addition P2906.6.1	P2906.6.1	Saddle Tap Fittings on Water Distribution Piping	Saddle tap fittings are no longer permitted on water distribution system piping.
Modification P2906.18.2	P2906.18.2	Joints between PVC and CPVC Piping	A single solvent-cement transition joint is now an acceptable method for connecting a CPVC water distribution system to a PVC water service pipe.

Chapter P30: Sanitary Drainage			
Code Section		Section Title	Description of Change
2018	2015		
Modification P3003.2	P3003.2	Prohibited Joints for Sanitary Drainage	A solvent cement joint is now permitted for joining ABS and PVC piping at the connection of the building drain to the building sewer.
Modification P3005.1.6	P3005.1.6	Reduction in Pipe Size	Water closet flanges, offset bend fittings and offset flanges are now specifically listed as exceptions to the provision that drainage piping must not be reduced in size in the direction of flow.

Chapter P31: Vents			
Code Section		Section Title	Description of Change
2018	2015		
Modification P3103.1	P3103.1	Vent Pipe Terminations	The provisions for vent terminals have been reorganized and a new option has been added to allow a 2-inch vent extension through a sloped roof when the vent is covered.
Modification P3111	P3111	Combination Waste and Vent System	Food waste disposers and drinking fountains are now permitted to connect to a combination waste and vent system.
Modification P3114.8	P3114.8	Prohibited Installations for Air Admittance Valves	An air admittance valve cannot be used to resolve the problem of an open vent terminal that is too close to a building air intake.

Chapter E37: Branch Circuit and Feeder Requirements			
Code Section		Section Title	Description of Change
2018	2015		
Addition E3703.5		Garage Branch Circuits	A separate 20-ampere branch circuit is now required to serve receptacle outlets of attached garages and detached garages with electric power.

Chapter E39: Power and Light Distribution			
Code Section		Section Title	Description of Change
2018	2015		
Modification E3901.2	E3901.2	Wall Space for Receptacle Distribution	Cabinets with countertops are now considered wall space in determining required locations for general purpose receptacle outlets.
Modification E3901.3	E3901.3	Appliances on 15 Amp Circuits	An individual 15-ampere branch circuit is permitted to serve any specific kitchen appliance.
Addition E3902.4		GFCI Protection for Crawl Space Lighting Outlets	Ground-fault circuit-interrupter (GFCI) protection is now required for lighting outlets of crawl spaces.
Addition E3905.2.1		Nonmetallic-Sheathed Cable and Metal Boxes	Where entering a metal box, nonmetallic-sheathed cable must extend into the box at least 1/4 inch and extend past the cable clamp.

Chapter E41: Appliance Installation			
Code Section		Section Title	Description of Change
2018	2015		
Modification E4101.3	E4101.3	Cord- and-Plug-Connected Appliances	The maximum cord lengths for range hoods and built-in dishwashers have increased and the code clarifies that the receptacle outlet for the dishwasher has to be in the space adjacent to the appliance.

Appendix Q: Tiny Houses			
Code Section		Section Title	Description of Change
2018	2015		
Appendix Q Addition		Tiny Houses	A new Appendix Q covers provisions for tiny houses, defined as dwellings with a maximum floor area of 400 square feet.

FROM THE 2012 TO THE 2018 INTERNATIONAL CODES
SIGNIFICANT CODE CHANGES
International Plumbing Code

Chapter 3 General Regulations:

- 303.5 Third-party Certification for Cast-iron Pipe, this new section invokes additional inspection and certification requirements for third party certifications agencies that inspect the products at the manufacturing location.
- 305.1 This change clarifies where and what type of metallic piping is required to be protected from corrosion.
- 305.6 For concealed piping installed through holes or notches, the minimum distance to the face of the framing member without protection has been reduced.
- 308.6 Additional information clarifies where sway bracing is needed for drainage piping.
- 308.10 A thermal expansion tank cannot be supported by the piping connected to the tank.

Chapter 4 Fixtures, Faucets and Fixture Fittings:

- 403.1 Assembly areas used for gaming (gambling) now have specific ratios for plumbing fixture requirements.
- 403.1 The Occupancy (Group) column has been deleted from Table 403.1 for greater flexibility and accuracy.
- 403.1 Outdoor public swimming pools now have specific requirements for plumbing fixtures.
- 403.1.2 Single-user toilet facilities having required plumbing fixtures must be labeled for use by either sex.
- 403.1.3 Multiple toilet facilities in a building for the same sex must have the required lavatories distributed proportionally.
- 403.2 Business occupancies having 25 or fewer persons are allowed to have the required single-user toilet rooms not labeled for use by a specific sex.
- 403.3 The required toilet facilities for a building or tenant space do not need to be “in” the building that requires the toilet facilities.
- 405.3.1 The minimum distances from a fixture’s center line to other fixtures or obstructions is clarified.

- 405.3.5 The minimum distance between urinal partitions is clarified. 405.5 Plumbing fixtures having a pumped waste arrangement must comply with a standard that covers the integral waste pumping system.
- 409.1 Residential dishwashers must now comply with Standard NSF 184.
- 409.4 The requirement for residential dishwasher waste connections was moved from section 802.1.6 to new Section 409.4. The language was modified for clarity.
- 411.3 Emergency shower or eye wash station water requires temperature control by an ASSE 1071 mixing valve.
- 412.7 Where other requirements outside of the code require limiting the discharge water temperature at a faucet or fixture fitting, installation of an ASSE 1062 device is an approved method of control.
- 422 Section 422 concerning Health Care Fixtures and Equipment is deleted.

Chapter 5 Water Heaters:

- 502.1 Solar thermal water heating systems must conform to the International Mechanical Code and ICC 90/SRCC 300.
- 504.6 Where insert fittings are used in T&P valve discharge piping, the piping must be of larger size.
- 504.7 Aluminum and plastic are approved drain pan materials. Plastic drain pans must not be used under gas-fired water heaters.
- 602.3.1 Where local regulations for the construction of water wells do not exist or are lacking details, the code requires well construction to comply with Standard NGWA-01.
- 605.13.7, 605.14.4, 605.16.3 The push-fit method of joining was not explicitly described in the "types of joints" sections for various piping materials. This change makes the acceptability of this type of mechanical joint clearly.

Chapter 6 Water Supply and Distribution:

- 607.3 Thermal expansion control devices, other than thermal expansion tanks, can be used for control of hot water system pressures.
- 608.3, 608.4 Some of the requirements in Section 608.3 were extracted, reworded and put into a new section to provide clarity about backflow protection requirements.
- 608.12 Drinking water must be protected from contamination from contact with water tanks, coatings on the inside of water tanks and liners on the inside of water tanks. Standard NSF 61 is the testing protocol for determining nonacceptable levels of contamination by components in contact with drinking water.
- 608.17.1.1, 608.17.1.2 Only carbonated dispensers require a backflow preventer that is designed for exposure to carbon dioxide gas. Also, because of the potential for cross-contamination between noncarbonated drink dispensers and or coffee machines, each

dispenser or machine supplied with potable water must have a backflow preventer (or air gap) at the connection to the potable water supply.

- 608.17.10 The potable water connection to a humidifier that does not have internal backflow protection must have an ASSE 1012 backflow preventer or an air gap. ☒ 609.1 Outdated terminology for different types of medical facilities has been replaced with terminology that is aligned with industry standards and how the IBC refers to such facilities.
- 611.1 Point-of-use reverse osmosis drinking water treatment units must now comply entirely with NSF 58 or CSA B483.1.

Chapter Sanitary Drainage:

- 701.2 Gray water systems are not required to be connected to a public sewer or a private sewage disposal system provided that they discharge to systems in accordance with Chapters 13 or 14.
- 701.8 The installation of drainage piping above “food areas” is no longer prohibited.
- 702.3 Standards for polypropylene (PP) plastic pipe are added to Table 702.3 for code approved building sewer piping.
- 703.4 The use of existing building sewers and existing building drains for new building plumbing system is clarified.
- 704.1 Piping conveying grease-laden waste must have a slope of not less than ¼ inch per foot (2percent).
- 704.2 Allowable reductions of pipe size are clarified and expanded. ☒ 705.16.4 One joint between ABS plastic building drain piping and PVC plastic building sewer drain piping can be solvent cemented with special cement.
- 709.3 Conversion of gallon per minute drainage flows to dfu values has been clarified.
- 712.3.2 Gas-tight removable covers for sumps having ejectors and sewage pumps cannot be located more than 2 inches below grade or floor level.
- 712.4.2 The maximum solids diameter capacity for waste pumps and waste ejectors has been reduced from 1-inch diameter to ½ inch diameter.
- 713 Section 713 covering sanitary drainage systems in health care facilities has been deleted in its entirety.
- 716 The section on replacement of building sewers by pipe-bursting methods has been expanded to include replacement of underground building drains.

Chapter 8 Indirect/Special Waste:

- 801.2, 802.1 Air humidification equipment that has a waste discharge must have the discharge piping connect in an indirect method to the sanitary drainage system.
- 802.4.3.1 An alternative method for connecting a laundry tub drain, without a fixture trap, to a clothes washer standpipe is added to the code.

Chapter 9 Vents:

- 918.8 An air admittance valve cannot be used to resolve the problem of an open vent terminal that is too close to a building air intake.

Chapter 10 Traps Interceptors and Separators:

- 1003.3.2 Food waste disposer discharge to any type of grease interceptor is prohibited.
- 1003.3.3 Additives to grease interceptors are limited to microbes dispensed by systems that comply with ASME A112.14.6 and allowed by the interceptor manufacturer.

Chapter 11 Storm Drainage:

- 1102.4 Additional types of piping materials and standards were added to the table for approved building storm sewer pipe.
- 1106.5 Scuppers for primary and secondary roof drainage must be located and sized to prevent the water depth on the roof from exceeding the maximum allowable water depth for the structural capacity of the roof structure.

Chapter 13 Gray Water Recycling Systems:

- 1302.7.2 The consensus standards covering tanks for on-site non-potable water reuse systems including gray water are removed from the code.
- 1303.1.1 The IPC now references the International Fire Code (IFC) regulations covering the use of non-potable water in water based fire protection systems.
- 1303.15.8, 1303.15.9 Site conditions can affect the quality of collected untreated (raw) rainwater. Standard ASTM E2727 must be used to determine the impact of those site conditions.

Significant Changes Between the 2011 NEC and 2014 NEC Codes

The following code changes will become effective on January 1, 2017.

California Electric Codes: The following are a list of significant changes from the 2011 to the 2014 National Electrical Code (NEC) is not all inclusive, but does include these that have the most impact on electrical installations. Please refer to the Article in the NEC for the complete text.

Article 110:

- 110.26(C)(3) - Panic hardware requirements on personnel doors has been lowered from 1200 amps to 800 amps.
- 110.26(E)(2)(a)&(b) - Dedicated space code requirements has been extended to outdoor equipment.

Article 210:

- 210.5(C)(2) - New requirements for identification of conductors of ungrounded DC systems.
- 210.8(A)(7) - GFCI protection has been expanded to include all receptacles located within 6 ft. of dwelling kitchen sinks.
- 210.8(A)(9) - GFCI protection has been expanded to include all receptacles located within 6 ft. of dwelling tubs and showers.
- 210.8(A)(10) - GFCI protection is now required for dwelling laundry area receptacles.
- 210.8(D) - GFCI protection now required for dishwashers in dwellings.
- 210.12 - AFCI devices must be readily accessible.
- 210.12(A) - AFCI protection has been expanded to include devices, and kitchen and laundry areas of dwellings.
- 210.12(C) - AFCI protection is required in dormitory units.
- 210.13 - Ground Fault Protection of Equipment (GFPE) is required for branch circuits 1000 amps or more and over 150V to ground.
- 210.17—Outlets for Electric Vehicle (EVO charging must be on a separate branch circuit with no other outlets.
- 210.2(G)(1) - Dwelling garages must have a separate branch circuit with at least one receptacle for each car space.
- 210.64—Receptacles are required within 50 ft. of all non-dwelling service equipment.

Article 230:

- 230.82(3) - Meter disconnect switches are required to be labeled.

Article 250:

- 250.21(C) - Ungrounded systems are required to be marked with the voltage between conductors.
- 250.167 - Ungrounded DC systems are required to have ground fault detectors.

- 250.194 - New section for grounding and bonding of fences, etc. around substations.

Article 300:

- 300.22(C)(1) - Nonmetallic cable ties in plenums must be listed as low smoke and heat release properties. Table 310.15(B)(3)(c) – Has been revised to include cables on rooftops.

Article 314:

- Drywall screws are not permitted for installing devices or covers.

Article 334:

- Self-contained NM cable connectors only permitted for repair wiring.

Article 393:

- New article for low-voltage suspended ceiling power distribution system.

Article 406:

- 406.3(E) - New for a controlled requirement receptacle marking
- 406.4(D)– AFCI and GFCI replacement receptacles must be in readily accessible locations.
- 406.5(E) – Prohibition of face-up receptacles has been expanded to all occupancies.
- 406.5(F) – New prohibition of face-up receptacles in seating areas unless so listed.
- 406.9(B)(1) – In-use covers on all receptacles in wet locations will now need “extra-duty” type covers.

Article 408:

- 408.55 – New requirement for back wire-bending space for panelboard enclosures.

Article 410:

- 410.6 – Luminaire retrofit kits are required to be listed.
- 410.10(F) – Luminaires must also be no less than 1- ½ inches below metal roof decking.
- 410.130(G)(1) – Exception for ballast disconnects deleted for industrial applications with qualified persons.

Article 422:

- 422.5 – GFCI devices for all appliances must now be readily accessible.
- 422.23 – Tire inflation and auto vacuum machines now need GFCI protection.
- 422.29 – GFCI protection for high-pressure spray washers expanded to 208Y/120V and 60A or less.
- 422.51 – GFCI protection expanded to hard-wired vending machines.

Article 424:

- 424.66(A)&(B) New working space requirements for duct heaters.

Article 430:

- 430.233 – Minimum voltage for guarding of live parts of motors or controllers lowered to 50.

Article 450:

- 450.10– Grounding or Bonding terminals cannot be installed on or over the transformer vent screen.
- 450.11– Transformers can only be reverse wired if permitted in the manufacturer’s instructions.

Article 517:

- 517.18(A) – New color and circuit marking requirements for general care receptacles on the critical branch.
- 517.18(B) – Number of general care bed location receptacles increased from 4 to 8.
- 517.19(B) – Number of critical care bed location receptacles increased from 6 to 14.
- 517.19(C) – Operating rooms now need 36 receptacles with at least 12 on the normal branch or a critical branch from a different transfer switch, and connected to the reference grounding point.

Article 551:

- 551.71 – Every RV site with a 50A receptacle must also have a 30A, 125V receptacle.

Article 590:

- 590.4(D)(2) – All in-use covers on receptacles in wet locations must now have “extra-duty” covers.
- 590.4(I) – Flexible cords and cables must be secured to boxes with fittings listed for the purpose.
- 590.4(J) – Temporary branch circuits and feeders cannot be laid on the floor or ground.

Article 600:

- 600.6(A)(1) – There must be a disconnect at the point where the circuit enters the sign.
- 600.7(A)(1) – Metal parts of skeleton tubing must also be connected to an EGC.

Article 645:

- 645.27- All OCP devices in critical operations data systems must be selectively coordinated.

Article 646: – New article on modular data centers.

Article 680:

- 680.12 – Fountains must now also have a maintenance disconnect.
- 680.21(C) – All pool pump motors need GFCI protection regardless of amperage.
- 680.22(A)(1) – Receptacle requirement expanded to all permanently installed pools.

Article 690:

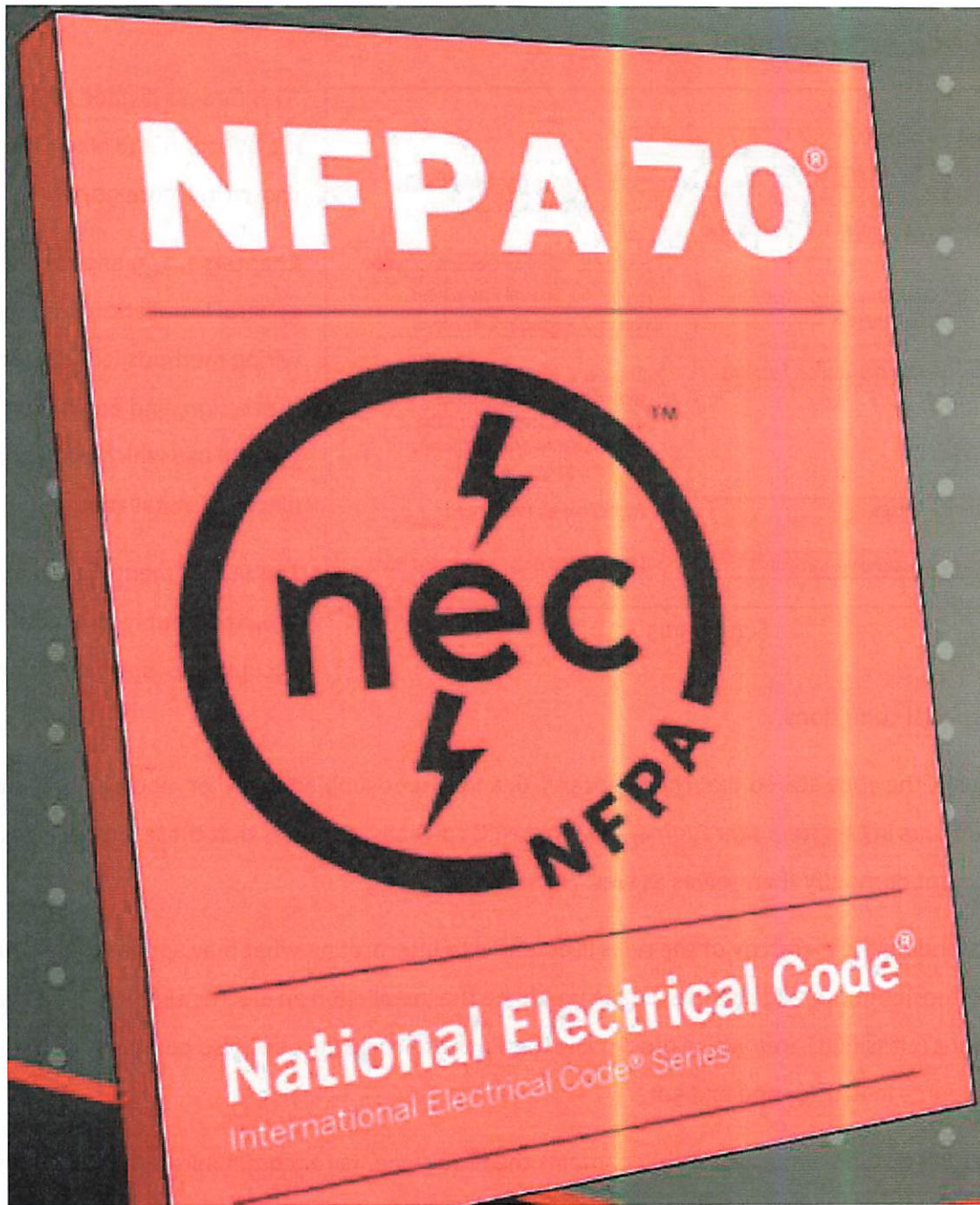
- 690.5(A) – Systems on other than dwellings no longer permitted without ground-fault protection.
- 690.12 – New requirement for rapid shutdown of systems on buildings.
- 690.35(C) – Ground-fault protection for ungrounded PV systems must be listed.
- 690.47 – Auxiliary grounding electrode system required for all ground- and pole-mounted systems, and as close as practicable to roof-mounted systems.

Article 694: – No longer limited to 100 kW wind electric systems.

Article 700:

- 700.8 – New requirement for listed surge protective devices on all switchboards and panelboards.
- 700.12(F), Exception & 700.19 – Emergency lighting cannot be part of a multi-wire branch circuit.
- 700.24 – Emergency luminaires and controls must be individually listed for emergency use.
- 700.28 – Selective coordination for emergency systems must be designed by an engineer.

- **702.7(C) – Type of neutral connection must be posted for optional standby temporary power inlets.**



Significant Changes
to the
2017 National Electrical Code®

1. 90.3 Code Arrangement

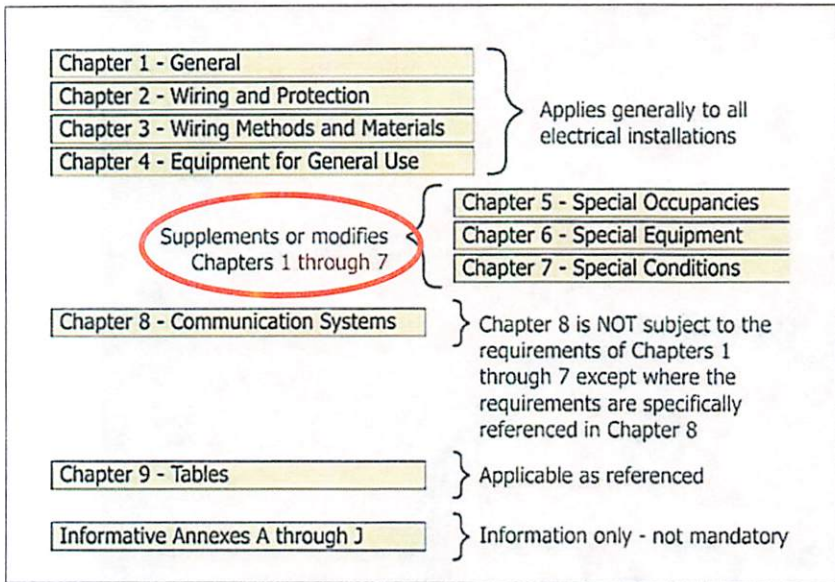


Figure 90.3

This Code is divided into the introduction and nine chapters, as shown in Figure 90.3.

Chapters 1, 2, 3, and 4 include general installation requirements, wiring methods, conductor protection, and equipment for general use which apply to all electrical installations.

The requirements found in Chapters 5, 6, and 7 apply to special occupancies, special equipment, or

other special conditions.

Previously, the code stated that the Chapter 5, 6, and 7 rules supplemented or modified only the requirements in Chapters 1 through 4. The 2017 NEC correctly identifies that these later articles may supplement or modify themselves as well.

Understanding the hierarchy of the rules is essential to interpreting what may appear to be conflicts or inconsistencies in the Code. One example would be the installation an electric sign in a in a Class 1 hazardous (classified) area which must meet the rules of Article 600, but also comply with the requirements in Articles 500 and 501.

Chapter 8 is a stand-alone article that contains the requirements for communications systems, such as telephone systems, antenna wiring, CATV, and network-powered broadband systems which aren't subject to the general requirements of Chapters 1 through 4 or the special requirements of Chapters 5 through 7 unless there's a specific reference in Chapter 8.

Chapter 9 consists of tables applicable as referenced in the NEC. The tables are essential for determining the radius of raceway bends, dimensions of conductors, to calculate raceway sizing for conductor fill, and the power source limitations of Class 2 and Class 3 ac and dc circuits, etc., Figure 90.3 is key to understanding and correctly applying the rules of the NEC.

2. 100 Definitions

Building and Structure

2014 NEC Building: A structure that stands alone or that is cut off from adjoining structures with all openings therein protected by approved fire doors.

2017 NEC Building: A structure that stands alone or that is separated from adjoining structures by fire walls.



The definition of the word building was revised and the term “fire doors” was deleted because openings in firewalls are not limited to just doors. Building codes – not the NEC - dictate when and where openings are permitted in separation walls that are required to be fire-rated. This new definition is more in step with the current building code and creates consistent terminology between model codes.

Structure 2014 NEC: That which is built or constructed.

Structure 2017 NEC: That which is built or constructed, other than equipment.

Section 250.50 requires all buildings and structures to have a grounding electrode system where all the available electrodes (and if none exist, the made electrodes) are bonded together and to the service or feeder distribution panel. But the existing definition of a structure could include free-standing equipment where the establishment of a grounding electrode system was not intended.



The phrase "other than equipment" was added to the definition to create a real difference between what is deemed to be a structure and therefore required to have a grounding electrode system and a stand-alone piece of listed electrical equipment which is not.



The new definition means that listed electrical equipment can stand alone or it can be mounted on a structure but the listed piece of electrical equipment itself is not considered a structure.

3. 110.3(A)(1) Examination, Identification, Installation, Use, & Listing of Equipment.

In judging equipment, considerations such as the following shall be evaluated: (1) Suitability for installation and use in conformity with the provisions of this Code.

Informational Note No. 1: Equipment may be new, reconditioned, refurbished, or remanufactured.


Section 110.3(A) aids installers and inspectors when determining the suitability of equipment: mechanical strength and durability, wire-bending and connection space, electrical insulation, heating and arcing effects, and classification of such things as size, voltage, current



capacity, etc.

In many cases, extending the life of existing equipment may be necessary when the original manufacturer is no longer in business or they no longer produce that item. New replacement parts may not fit in the existing enclosure.

Reconditioned, refurbished, and remanufactured electrical equipment is a practical decision when the equipment has been properly certified and the markings and nameplate requirements have been met.



Occupational Safety and Health Administration

The Code of Federal Regulations Subp. S 1910 applies to electrical installations and utilization equipment installed or used within or on buildings, structures, and other premises, including: yards; carnivals; parking and other lots; mobile homes; recreational vehicles; industrial substations; conductors that connect the installations to a supply of electricity; and other outside conductors

Approval. The conductors and equipment required or permitted by this subpart shall be acceptable only if approved.

110.21 (A)(2) (2) Reconditioned Equipment. Reconditioned equipment shall be marked with the name, trademark, or other descriptive marking by which the organization responsible for reconditioning the electrical equipment can be identified, along with the date of the reconditioning. Reconditioned equipment shall be identified as “reconditioned” and approval of the reconditioned equipment shall not be based solely on the equipment’s original listing.



Informational Note: Industry standards are available for application of reconditioned and refurbished equipment. Normal servicing of equipment that remains within a facility should not be considered reconditioning or refurbishing.

4. **210.8 Ground-Fault Circuit-Interrupter Protection for Personnel.**

For the purposes of this section, when determining distance from receptacles the distance shall be measured as the shortest path the cord of an appliance connected to the receptacle would follow



without piercing a floor, wall, ceiling, or fixed barrier, or passing through a door, doorway, or window.

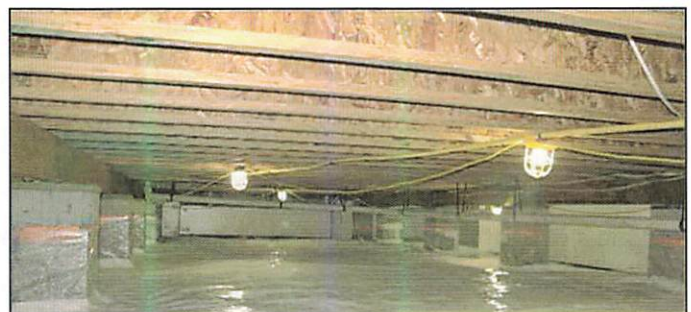
Inspired by the existing “shortest path” rule in Section 680.22(A)(5) for determining the location of receptacles around permanently installed swimming pools, this added sentence at 210.8 clarifies just how the 6-foot measurement is to be made.

Another dimension clarification was made in both 210.8(A)(7) for dwelling units and 210.8(B)(5) for non-dwelling units which makes it clear that the 6-foot measurement does not extend all directions from the outside edges of the sink.

Sinks — where receptacles are installed within 6-feet from the top inside edge of the bowl of the sink.

210.8(B) Other Than Dwelling Units. GFCI requirements have been expanded to include other than 15- and 20-amp 125-volt applications and now apply to all single-phase receptacles <150 volts and <50 amps and three-phase receptacles <150 volts and <100 amps.

(9) and (10) GFCI protection now applies to 120-volt 15- and 20-amp receptacles in crawl spaces and unfinished basements in all occupancies. The same electrical shock hazards exist in those spaces whether or not they are associated with a dwelling unit.



(E) Crawl Space Lighting Outlets. GFCI protection shall be provided for lighting outlets not exceeding 120 volts installed in crawl spaces. Fatal incidents have shown amp guards do not provide appropriate shock protection. The GFCI requirement applies to lighting outlets in both dwellings and non-dwellings.

5. 210.11(C) Branch Circuits Required.

(4) Dwelling Unit Garage Receptacles. In addition to the number of branch circuits required by other

parts of this section, at least one 120-volt, 20-ampere branch circuit shall be installed to supply receptacle outlets in attached garages and in detached garages with electric power.

This circuit shall have no other outlets.

A single 120-volt branch circuit rated 15-amps is often inadequate for all the equipment and associated apparatus found in residential garages. Electric tools and appliances may require individual branch circuits in addition to the

minimum requirement for a dedicated 120-volt circuit to the general-purpose receptacles.

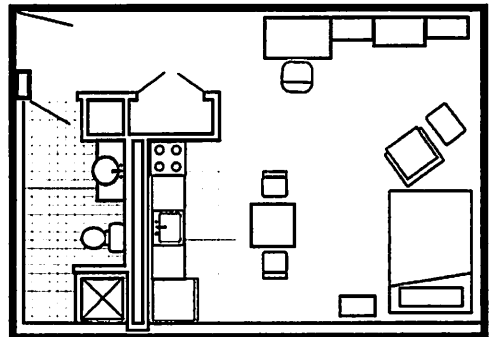
Exception: This circuit shall be permitted to supply readily accessible outdoor receptacle outlets.

The allowance is for readily accessible outdoor receptacle outlets to be fed from the 20-amp receptacle branch circuit- but not any lighting load, which to be fed from general purpose lighting circuits. Keeping the lights on in the event of an unexpected outage on the receptacle circuit is safety issue.

6. 210.12(C) Guest Rooms and Guest Suites.

All 120-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets and devices installed in guest rooms and guest suites of hotels and motels shall be AFCI protected.

Arcing conditions can occur in the wiring and devices in hotel or motel guest rooms just as they could occur in dwelling units and that same level of protection is now required. The code had only required AFCI protection in the guest rooms and suites of hotels and motels when there were permanent provisions for cooking in the room or suite. Defining “permanent provisions for cooking” was problematic when cord-and-plug connected microwave ovens and hot plates were secured in place to prevent theft. The expanded AFCI requirement is not contingent on the presence of portable or permanent cooking provisions in the room or suite.



7. 210.52 Dwelling Unit Receptacle Outlets.

(A)(7) (1) Spacing. Receptacles shall be installed such that no point measured horizontally along the floor line of any wall space is more than 6 feet from a receptacle outlet.

(2) Wall Space. As used in this section, a wall space shall include the following:



(1) Any space 2-feet or more in width (including space measured around corners) and unbroken along the floor line by doorways and similar openings, fireplaces, and fixed cabinets that do not have countertops or similar work surfaces.

Doorways, fireplaces and similar openings are considered a break in wall space when applying the 6-foot rule and now countertop work spaces that are part of built-in bookcases are considered a break in a wall space as well. This change clarifies that only those portions of fixed cabinets of any height that do not have a countertop work surface can be viewed as a break in wall space. The wall line of the desktop or work surface is considered wall space and receptacle outlet(s) (at countertop spacing) are required there.

8. 210.52(C)(3) Peninsula Countertop Spaces:

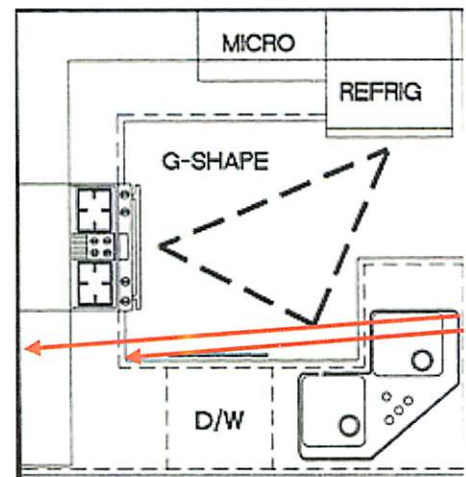
At least one receptacle outlet shall be installed at each peninsular countertop long dimension space with a long dimension of 24-inches or greater and a short dimension of 12-inches or greater. A peninsular countertop is measured from the connected perpendicular wall.

Until now, this measurement has been taken from the point where the peninsula countertop mated with the wall

countertop which meant that at least one receptacle was required to be installed on every peninsula.

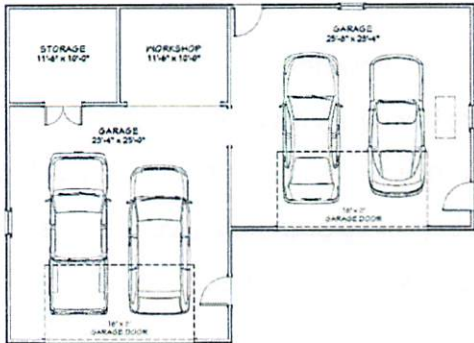
Changing how the long dimension of the peninsula countertop is measure allows a receptacle outlet on the connecting wall to meet the requirement for a receptacle at the peninsula.

Cabinet makers and homeowners will be delighted with this change; contractors and inspectors will be able to stop wrangling about the location of the required receptacle on end of the peninsula.



9. 210.52(G) Basements, Garages, and Accessory Buildings.

For one- and two- family dwellings, at least one receptacle outlet shall be installed in the areas specified



in addition to receptacles required for specific equipment.

Garages. In each attached garage and in each detached garage with electric power, at least one receptacle outlet shall be installed in each vehicle bay and not more than 5 ½ feet above the floor.

The change clarifies that the required number of receptacles cannot be grouped in one location and that the receptacle in the ceiling for the garage door opener does not qualify as the receptacle in that vehicle bay.

10. 210.64 Electrical Service Areas.

At least one 125-volt, single-phase, 15- or 20-ampere-rated receptacle outlet shall be installed in an accessible location within 25-feet of the indoor electrical service equipment. The required receptacle outlet shall be located within the same room or area as the service equipment.

Exception No. 1: The receptacle outlet shall not be required in one-and-two-family dwellings.

Exception No. 2: Where the service voltage is greater than 120 volts to ground, a receptacle outlet shall not be required for services dedicated to equipment covered in Articles 675 and 682.

The receptacle is there to assist workers using 120-volt instruments when examining, testing, monitoring or recording data at the electrical service equipment. Some of these devices are connected for days, weeks or months and reducing extension cord use is a safety consideration.

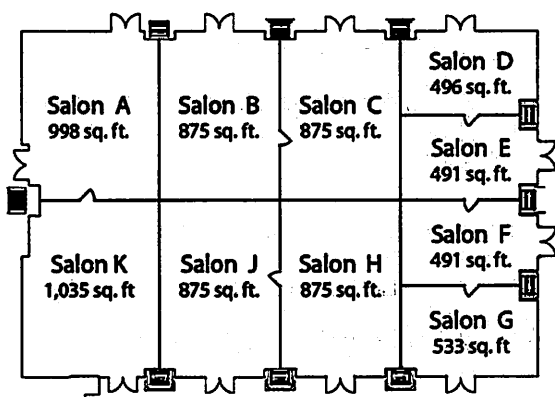
The electric service for stand-alone pumping facilities for center-pivot irrigation equipment or the aerator in bodies of water are generally from 480- or 600- volt ungrounded distribution systems. These services are used to power to a 3-phase machine so a grounded conductor is not extended from the utility supply; a 120-volt reference is not available at the service disconnecting means. Providing a 120-volt receptacle outlet at these locations is unnecessary and would require an additional service conductor or installation of a step-down the transformer.



11. 210.71 Meeting Rooms.

(A) General. Each meeting room of not more than 1000 square feet in other than dwelling units shall have outlets for non-locking-type, 125-volt, 15- or 20-ampere receptacles. Where a room or space is provided with movable partition(s), each room size shall be determined with the partition in the position that results in the smallest size meeting room.

(B) Receptacle Outlets Required. The total number of receptacle outlets, including floor outlets and receptacle outlets in fixed furniture, shall not be less than as determined in (1) and (2). These receptacle outlets shall be permitted to be located as determined by the designer or building owner.



(1) Receptacle Outlets in Fixed Walls. Receptacle outlets shall be installed in accordance with 210.52(A)(1) through (A)(4).

(2) Floor Receptacle Outlets. A meeting room that is at least 12 feet wide and that has a floor area of at least 215 square feet shall have at least one receptacle outlet located in the floor at a distance not less than 6 feet from any fixed wall for each 215 square feet or major portion of floor space. *

At conferences and seminars, extension cords are draped across aisles to a row of laptop computers or duct-taped to the floor behind the podium to supply the projector. Under the 2017 NEC, all non-dwelling unit meeting rooms that fit the specified size criteria will be required to have receptacle outlets. Smaller meeting rooms that are between 215 and 1,000 square feet and at least 12-feet wide will be required to have at least one floor receptacle located not less than 6-feet from any fixed wall. *

The total number of required receptacles is determined by using the basic wall spacing rules for dwelling units in 210.52, but those at countertop spaces cannot be included in the count. Note that the receptacles do not have to be placed as required by 210.52. The number of receptacle outlets is determined by the code with the actual placement determined by the building owner or designer. Large meeting rooms, defined as those that are 1,000 square feet or more, are exempt from the any of the new receptacle requirements.

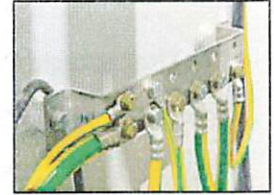
12. 250.94 Bonding for Communications Systems

(B) Other Means. Connections to an aluminum or copper busbar not less than 1/4 in. thick x 2 in. wide and of sufficient length to accommodate at least three terminations for communication systems in addition to other connections.



New section (B)

Article 800	Communication (Telephone & Data)
Article 810	TV and Radio
Article 820	Cable TV
Article 830	Network-Powered Broadband Communications
Article 840	Premises-Powered Broadband Communications



permits what has

long been used and is considered an acceptable practice in the field. The new exception acknowledges that an IBT not necessary at all service equipment locations or at the disconnecting means at additional

buildings or structures.

Exception to (A) and (B): Means for connecting intersystem bonding conductors are not required where communications systems are not likely to be used.

This new allowance has already been referred to as the chicken coop or children's playhouse exception.



13. 310.15(B)(4)(c) (c) Raceways and Cables Exposed to Sunlight on Rooftops.

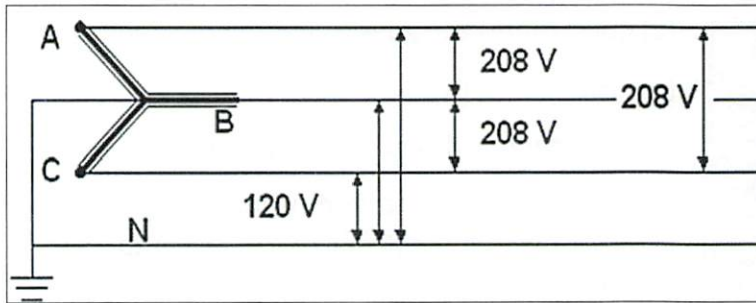
Where raceways or cables are exposed to direct sunlight and located less than 7/8 in. above the roof, a temperature adder of 60°F is to be added to the outdoor ambient temperature to determine the ambient temperature for the application of the ampacity correction in accordance with Table 310.15(B)(2)(a).

The deletion of this requirement means that no rooftop temperature adjustment is necessary when raceways or cable assemblies are correctly supported across a roof and not in direct contact with the rooftop surface.



14. 310.15(B)(7) Single-Phase Dwelling Services and Feeders.

For one-family dwellings and the individual dwelling units of two-family and multifamily dwellings, single-phase feeder conductors consisting of 2 ungrounded conductors and the neutral conductor from a 208Y/120 volt system shall be permitted to be sized in accordance with 310.15(B)(7)(1) through (3).



(2) For 100 to 400-amp feeder conductors supplying the entire load associated with the dwelling shall be permitted to have an ampacity not less than 83 percent of the service rating. (see Annex D, Example D7) Residential service-entrance and feeder

conductors supplying the entire load may have a marginally higher ampacity in Table 310.15(B)(16) due to the diversity of loads used within dwelling units. In a 208Y/120-volt system current is 120 degrees out-of-phase not 180 degrees as in a 120/240-volt system, which means the neutral conductor of a 208Y/120-volt system is a current-carrying conductor.

15. 336.10 Power and Control Tray Cable: Type TC

(9) In one- and two-family dwelling units, Type TC-ER cable containing both power and control conductors that is identified for pulling through structural members shall be permitted. Type TC-ER cable used as interior wiring shall be installed per the requirements of Part II of Article 334.



Exception: Where used to connect a generator and associated equipment having terminals rated 75°C

(140°F) or higher, the cable shall not be limited in ampacity by 334.80 or 340.80.

Informational Note No. 1: TC-ER cable suitable for pulling through structural members is marked "JP."



Type TC cable is now permitted in one- and two-family dwellings and where not exposed to physical damage and can be installed without a raceway. Type TC cable that meets or exceeds the product standard, UL1277 crush and impact ratings for Type NM cable, Types SE and SER cable and Type MC cable is marked with an "-ER" which stands for Exposed Run. If the cable has also met the joist pull testing will be identified as Type TC-ER-JP.

16. 406.12 Tamper-Resistant Receptacles.

All 15- and 20-ampere, 125- and 250-volt non-locking-type receptacles in the areas specified in 406.12(1) through (7) shall be listed tamper-resistant receptacles.

(1) Dwelling units in all areas specified in 210.52 and 550.13



(2) Guest rooms and guest suites of hotels and motels

(3) Child care facilities

(4) Preschools and elementary education facilities

(5) Business offices, corridors, waiting rooms and the like in clinics, medical and dental offices and outpatient facilities

(6) Subset of assembly occupancies described in 518.2 to include places of waiting transportation, gymnasiums, skating rinks, and auditoriums

(7) Dormitories

Previously only applicable to dwellings, child care facilities and guest rooms and guest suites, the requirements for tamper-resistant (TR) receptacles have been expanded to locations where small children are likely to congregate. The requirements now apply to 250-volt non-locking-type receptacles.

The existing exceptions for receptacles that are generally inaccessible to children and for replacement non-grounding receptacles remain the only acceptable exclusions in those designated areas.

Exceptions to (1), (2), (3), (4), (5), (6), and (7): Receptacles in the following locations shall not be required to be tamper resistant:

(1) Receptacles located more than 5 1/2 feet above the floor

(2) Receptacles that are part of a luminaire or appliance

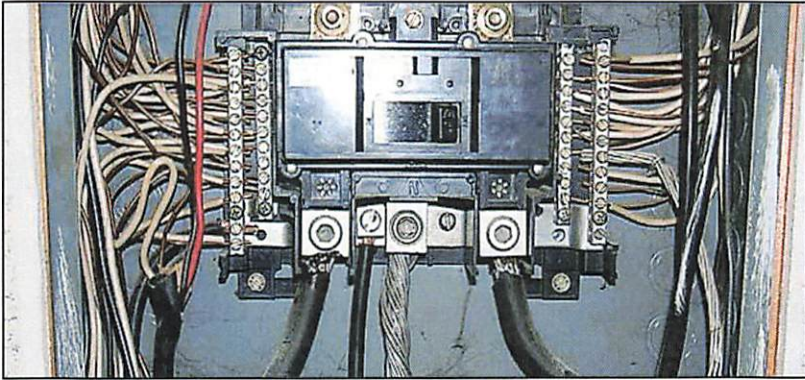
(3) A single receptacle or a duplex receptacle for two appliances located within the dedicated space for each appliance that, in normal use, is not easily moved from one place to another and that is cord-and-plug-connected in accordance with 400.10(A)(6), (A)(7), or (A)(8)

(4) Non-grounding receptacles used for replacements as permitted in 406.4(D)(2)(a)



17. 408.3 Support and Arrangement of Busbars and Conductors.

(A) Conductors and Busbars on a Switchboard, Switchgear, or Panelboard.



(1) **Location.** Conductors and busbars on a switchboard, switchgear, or panelboard shall be located to be free from physical damage and shall be held firmly in place.

(2) **Service Panelboards, Switchboards and Switchgear.** Barriers shall be placed in all service panelboards, switchboards, and switchgear such that no uninsulated,

ungrounded service busbar or service terminal is exposed to inadvertent contact by persons or maintenance equipment while servicing load terminations.

Service panelboards were added to the list that requires a barrier over energized busbar or terminals. Even in the off position, a single main disconnecting means supplied by service entrance conductors has uninsulated supply side terminals remain energized and exposed, which is an electrical safety concern.

18. 422.16 Flexible Cords

(2) **Built-in Dishwashers and Trash Compactors.**

Built-in dishwashers shall be permitted to be cord and-plug-connected with a flexible cord identified as suitable for the purpose in the installation instructions of the appliance manufacturer where all the following conditions are met:

- The cord is terminated with a grounding type attachment plug
- The length of the cord is 3-feet to 6.5-feet
- The receptacle is located to protect against physical damage to the flexible cord
- The receptacle for a built-in dishwasher shall be located in the space adjacent to the space occupied by the dishwasher
- The receptacle shall be accessible



The receptacle for a cord-and-plug-connected dishwasher cannot be located behind the dishwasher.

19. 440.9 Air-Conditioning and Refrigerating Equipment.

Grounding and Bonding. Where multi-motor and combination-load equipment is installed outdoors on a



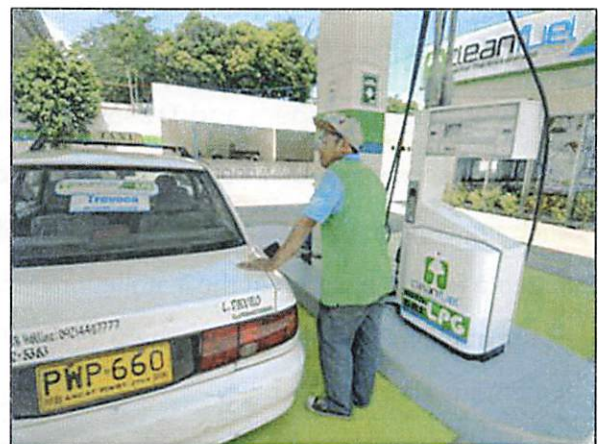
roof, an equipment grounding conductor of the wire type shall be installed in outdoor portions of metallic raceway systems that use non-threaded fittings.

Concerns about separation of conduit when it is used as the equipment grounding conductor and is the sole ground-fault return path brought about a new requirement that outdoor portions of metallic raceway systems that use non-threaded fittings contain a wire-type equipment grounding conductor.

20. 514.3(B) Classified Locations.

Compressed Natural Gas, Liquefied Natural Gas, and Liquefied Petroleum Gas Areas. Table 514.3(B)(2) shall be used to delineate and classify areas where CNG, LNG, compressed or liquefied hydrogen, LP-Gas, or combinations of these, are dispensed as motor vehicle fuels along with Class I or Class II liquids that are also dispensed as motor vehicle fuels. [30A:12.1]

Where CNG or LNG dispensers are installed beneath a canopy or enclosure, either the canopy or enclosure shall be designed to prevent accumulation or entrapment of ignitable vapors or all electrical equipment installed beneath the canopy or enclosure shall be suitable for Class I, Division 2 hazardous (classified) locations. [30A:12.4]



A new section 514.3(B)(3) was added with area classification information for compressed natural gas, liquefied natural gas, and liquefied petroleum gas fuel storage tanks.

The information was correlated with or extracted from NFPA 30A-2015, Code for Motor Fuel Dispensing Facilities and Repair Garages, NFPA 58-2014, Liquefied Petroleum Gas Code, NFPA 58-2014, Liquefied Petroleum Gas Code, and NFPA 59-2012, Utility LP-Gas Plant Code.

21. 551 Part VI. Recreational Vehicle Parks

551.75 Grounding. (RV Parks) (A) General. All electrical equipment and installations in recreational vehicle parks shall be grounded as required by Article 250.



(B) Grounding Electrode. Power outlets or recreational vehicle site supply equipment, other than those used as service equipment, shall not be required to have a grounding electrode. An auxiliary grounding electrode(s) in accordance with 250.54 shall be permitted to be installed.

With this addition and the changes made in Article 100 to the definition of structure, the inconsistent interpretations of the grounding electrode requirements for the electrical distribution in RV parks have been eradicated.

22.555 Marinas, Boatyards, and Commercial and Noncommercial Docking Facilities

555.1 Scope. This article covers the installation of wiring and equipment in the areas comprising fixed or floating piers, wharves, docks, and other areas in marinas, boatyards, boat basins, boathouses, yacht clubs, boat condominiums, docking facilities associated with one-family dwellings, two-family dwellings, multifamily dwellings, and residential condominiums; any multiple docking facility or similar occupancies; and facilities that are used, or intended for use, for repair, berthing, launching, storage, or fueling of small craft and the moorage of floating buildings.

555.3 Ground-Fault Protection. The overcurrent protective devices that supply the marina, boatyards, and commercial and noncommercial docking facilities shall have ground-fault protection not exceeding 30 mA.

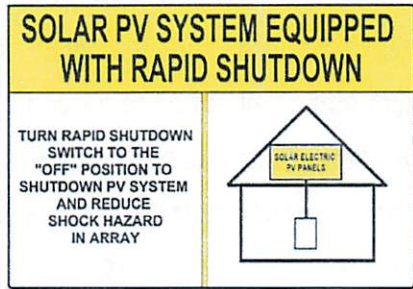
The change now provides the minimum acceptable level of safety to life and property at all public and private docks, boatyards, marinas and related facilities.

NOTE: Section 210.8(C) already requires ground-fault circuit-interrupter (GFCI) protection for outlets not exceeding 240 volts that supply boat hoists installed in dwelling unit locations.

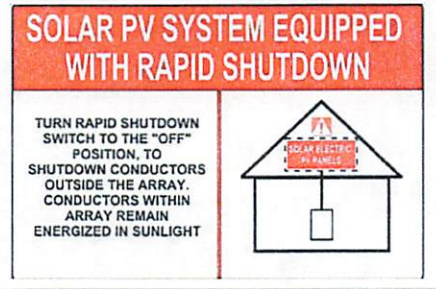


23.690. Identification of Power Sources.

(C) **Buildings with Rapid Shutdown.** Buildings with PV systems shall have permanent labels as described in 690.56(C) (1) through (C)(3). (1) Rapid Shutdown Type. The type of PV system rapid shutdown shall be labeled:



Label for PV Systems that Shut Down the Array and the Conductors Leaving the Array



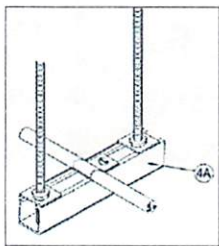
Label for PV Systems that Shut Down Down the Conductors Leaving the Array Only.

Both PV systems with a rapid shutdown and PV systems with no rapid shutdown require a detailed plan view diagram of the roof showing the location of each different PV system.

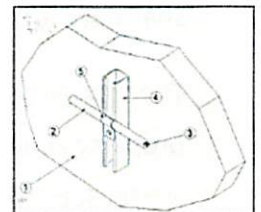
24.700.10 Wiring, Emergency System.

(D) **Fire Protection.** Emergency systems shall meet the additional requirements in (D)(1) through (D)(3) in the following occupancies:

- (1) Assembly occupancies for more than 1000 persons
- (2) Buildings above 75-feet in height with any of the following occupancy classes: assembly, educational, residential, detention and correctional, business, and mercantile
- (3) Health care occupancies where persons are not capable of self-preservation
- (4) Educational occupancies with more than 300 occupants



Fire protection for emergency system feeders (such as a listed electrical circuit protective system with a minimum 2-hour fire rating) only applied to emergency systems in assembly occupancies for more than 1000

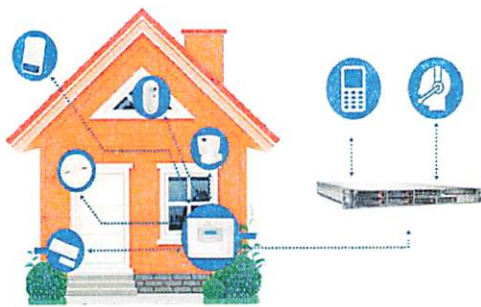


persons or high-rise buildings exceeding 75-feet. Now, emergency systems in certain health care buildings, educational institutions with more than 300 occupants, and specified buildings over 75-feet also require that same level of protection.

25. Part IV Premises-Powered Broadband Communications Systems

840.160 Powering Circuits. Communications cables, in addition to carrying the communications circuit, shall also be permitted to carry circuits for powering communications equipment. Where the power supplied over a communications cable to communications equipment is greater than 60 watts, communication cables and the power circuit shall comply with 725.144 where communications cables are used in place of Class 2 and Class 3 cables.

Power-over-ethernet (PoE) is widely used for simultaneously powering and communicating/signaling equipment and has become a preferred method of providing power to premises communications



equipment. Because the technology is rapidly changing industry standards are revised frequently and higher power levels are ultimately permitted. The additional heat generated by the increased current can push the cables beyond their rated temperature and cause long term degradation of the cable. The new limited-power (LP) cable designation shows that the cable has

been evaluated to carry the rated current when installed in areas with a high ambient temperature, within a conduit or raceway or when multiple cables are cinched together in large bundles.

Note that the “LP” is an additional designation similar to the circuit-integrity marking on Type CMP-CI, CMR-CI, and CM-CI cables. Type CMP-LP, CMR-LP and CM-LP are manufactured with larger copper current-carrying conductors to accommodate the higher ambient conditions. Cables with the LP suffix and a marked ampere rating are permitted to use the substitution hierarchy of Table 725.154 for the same cable type without the LP and amp markings.

When the power requirements exceed 60-watts the user is referred to section 725.144 for Class 2, and Class 3 communication circuits and to new Table 725.144. The table shows copper conductor ampacity limits based on the wire gauge, the temperature rating of the conductor (60°C, 75°C or 90°C) as well as the number of 4-pair cables in a bundle.

725.144(B) (B) Use of Class 2-LP or Class 3-LP Cables to Transmit Power and Data. Types CL3P-LP, CL2P-LP, CL3R-LP, CL2R-LP, CL3-LP, or CL2-LP shall be permitted to supply power to equipment at a current level up to the marked ampere limit located immediately following the suffix LP and shall be permitted to transmit data to the equipment.

FELPS

March 3, 2022

City of La Vernia
Attn: Mayor
P O Box 225
La Vernia, Texas 78121

Ref: 2022 Summer Youth Program

Dear Mayor,

At the Regular February Board Meeting, the Floresville Electric Light and Power System's Board of Trustees approved the 2022 Summer Youth Program sponsored by Floresville Electric Light and Power System.

- 1.) Each city must participate in such a program and match the funds contributed by Floresville Electric Light and Power System. The annual sponsorship for 2022 will be up to \$2.00 per connected electric meter in the respective city. (Meter count at previous year end for the City of La Vernia was 418.)
- 2.) Each city must be participating in a Supervised Youth Program providing several different activities during the summer (day or night) for the youth of various ages.
Suggested activities:
 - a.) Little League
 - b.) Library Program
 - c.) Basketball Clinic
 - d.) Soccer
 - e.) etc.
- 3.) Each city participating in the Program must send in a request to Floresville Electric Light and Power System and state briefly what ages and type of activities their program is providing. Also, please provide the dollar amount per meter that will be matched.

Please let this letter serve as notification of the qualifications for the 2022 Summer Youth Program.

Your reply must be received by April 8, 2022.

Sincerely,



Marcy Jacobs *XBJ*
Chief Operating Officer

SUMMER YOUTH PROGRAM

Hi Brittani,

The guidelines are pretty basic and are in the letter we send. It must be a supervised youth program occurring during the summer. The examples we give are little league, library program, basketball clinic, or soccer team. We've had other Cities use the donation toward a dance program, football camp, and a swim program. I think one time the City Council selected a vacation bible school program, but that's gray area for us, that we've decided to avoid. The goal is to provide activities the kids can participate in that keep them active and engaged. If you are still unsure and would like to run any of the programs by me before, please feel free.

Thanks,
Marcy

Marcy Jacobs
Chief Operating Officer
Floresville Electric Light & Power System
p: 830-216-7000 ext 261
Office Hours: 8 a.m. – 4.30 p.m.

Couple of Possible Options:

Little League
Jane Yelvington Public Library
Food Pantry
Art Attack Studio
Spotted Pony Riding School
Rah Rahs Cheer & Tumbling
Hills Gym
LV ISD (baseball, softball, soccer, volleyball)

2018 – Ministerial Alliance (can no longer do, it's a gray area per FELPS)

2019 – LL Challengers

2020 – attempted Vacation Bible School (minutes were sent to FELPS with decision of VBS, they came back and said no)

2021- Jane Yelvington Public Library

RESOLUTION NO. R041422-01

A RESOLUTION OF THE CITY OF LA VERNIA, TEXAS TO CONTRIBUTE MATCHING FUNDS TO THE FLORESVILLE ELECTRIC LIGHT AND POWER SYSTEM FOR THE 2022 SUMMER YOUTH PROGRAM

WHEREAS, the La Vernia City Council has determined that a need exists to promote summer youth activities to engage the youth of the community in positive summer activities; and

WHEREAS, the City Council supports the Floresville Electric Lighting and Power System (FELPS) summer youth program that promotes summer youth activities in the five cities within Wilson County; and

WHEREAS, the FELPS bases the funds for the summer youth programs on the number of FELPS electric meters within the City of La Vernia; and

WHEREAS, the City Council has agreed to match the funds provided by FELPS for summer youth programs within the City of La Vernia; and

WHEREAS, the City Council has determined that this Resolution is necessary to provide the matching funds for the FELPS supported summer youth programs.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL FOR THE CITY OF LA VERNIA, TEXAS:

SECTION 1

The City Council will match the FELPS summer youth funds for 418 electric meters within the City of La Vernia at a rate of two dollar (\$2.00) per electric meter for a total one time donation of \$836.00 for the 2022 summer youth program.

PASSED AND ADOPTED this 14th day of April, 2022.

Robert Gregory, Mayor

ATTEST:

Brittani Porter, City Secretary

Resolution No. 041422-02

RESOLUTION AUTHORIZING EXECUTION OF AN
ADVANCE FUNDING AGREEMENT (AFA) WITH THE
TEXAS DEPARTMENT OF TRANSPORTATION FOR A
TRANSPORTATION ALTERNATIVES SET-ASIDE (TASA) PROJECT

WHEREAS, on October 28, 2021, via Minute Order 116126, the Texas Transportation Commission authorized Vest Street to FM 1346 Sidewalks project (the “Project”) to receive Transportation Alternatives Set-Aside (TASA) funds for project construction and Texas Department of Transportation (TxDOT or the State) oversight; and

WHEREAS, the TASA funds require a local match, the City of La Vernia commits to provide the match. The local match is comprised of cash plus in-kind contributions; and

WHEREAS, the City of La Vernia is responsible for all non-reimbursable costs and 100% of overruns if any; and

WHEREAS, the Governing Body of the City of La Vernia desires to reaffirm its support of the Project and approve and authorize the execution of an Advance Funding Agreement (AFA) with TxDOT for the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LA VERNIA THAT:

The City of La Vernia is authorized to enter into an AFA with TxDOT for this Project.

PASSED AND ADOPTED by a majority vote of all members of the City Council of the City of La Vernia on the 14th day of April 2022.

Robert Gregory, Mayor

ATTEST:

Brittani Porter, City Secretary



Mr. Robert Gregory
City of La Vernia
P.O. Box 717
La Vernia, TX 78121

January 19, 2022

Re: Appointments to the CRWA Board of Trustees

Dear Mr. Gregory,

Members to the Board of Trustees of the Canyon Regional Water Authority are seated during the first Board of Trustees meeting in May. As a Member Entity you are entitled to select one member to the Board of Trustees to serve a **two-year term**. The trustee term that will expire this year is **Martin Poore**.

Your governing body is required to act on this appointment at a meeting held in compliance with the standard procedures of your entity.

Please have your governing body make this selection prior to **May 1, 2022**. After the selection is made, please let me know the member's name, address, and telephone numbers as soon as you can.

I have enclosed a suggested resolution for your action. I need written confirmation returned to CRWA before your member can be seated on the Board. It is very important that I receive the confirmation before **May 1, 2022**.

Please be aware that the qualifications for a Trustee is that the person be 18 years of age, live within the boundaries of C.R.W.A. (your service area), and not have served more than five continuous terms of office on the Board of Trustees of C.R.W.A.

Sincerely,

A handwritten signature in black ink that reads "Ritzie Wyly". The signature is written in a cursive style with a large, sweeping flourish at the end of the name.

Ritzie Wyly

Resolution No. 041422-03

RESOLUTION OF THE GOVERNING BODY OF

City of LaVernia

APPOINTING TO CANYON REGIONAL WATER
AUTHORITY ONE MEMBER TO THE BOARD OF
TRUSTEES FOR A TWO-YEAR TERM OF OFFICE.

ADOPTED April 14, 2022

RESOLVED, that the Governing Body of **City of LaVernia** has appointed: **Martin Poore**
to serve as their representative to the Board of Trustees of Canyon Regional Water Authority.

RESOLVED. FURTHER, that the above named representative is authorized to represent, and act on
behalf of, in the best interest of above said entity in the process of maintaining and conducting the
business of the Canyon Regional Water Authority, and to cast its vote on all issues related to the Canyon
Regional Water Authority.

* * * * *

CERTIFICATE OF SECRETARY

I, **Brittani Porter**, do hereby certify that I am the Secretary of the above said entity and that the above
and foregoing is a true, full and correct copy of the resolution duly adopted by the Members of the
Governing Body of the above said entity at its meeting held on April 14, 2022 and entered into the
Minutes of said entity; that the meeting was duly and regularly held in accordance with the Bylaws and or
laws governing the said entity; and that such resolution has not been rescinded or modified.

To certify which, witness my hand and seal of said entity this day April 14, 2022

Secretary

SEAL



Mr. Robert W. Gregory
Mayor, City of La Vernia
P.O. Box 717
La Vernia, TX 78121

January 19, 2022

Re: Appointments to the CRWA Board of Managers

Dear Mr. Gregory,

Members to the Board of Managers of the Canyon Regional Water Authority are seated during the first meeting in May. As a Member Entity you are entitled to select one member to the Board of Managers to serve a **one-year term**.

Your governing body is required to act on this appointment at a meeting held in compliance with the standard procedures of your entity.

Please have your governing body make this selection prior to **May 1, 2022**. After the selection is made, please let me know the member's name, address, and telephone numbers as soon as you can.

I have enclosed a suggested resolution for your action. I need written confirmation returned to me before your member can be seated on the Board. It is very important that I receive the confirmation before **May 1, 2022**.

Sincerely,

A handwritten signature in cursive script that reads "Ritzie Wyly".

Ritzie Wyly

Resolution No. 041422-04

RESOLUTION OF THE GOVERNING BODY OF

City of LaVernia

APPOINTING TO CANYON REGIONAL WATER
AUTHORITY ONE MEMBER TO THE BOARD OF
MANAGERS FOR A TWO-YEAR TERM OF OFFICE.

ADOPTED April 14, 2022

RESOLVED, that the Governing Body of **City of LaVernia** has appointed: _____
to serve as their representative to the Board of Managers of Canyon Regional Water Authority.

RESOLVED. FURTHER, that the above named representative is authorized to represent, and act on
behalf of, in the best interest of above said entity in the process of maintaining and conducting the
business of the Canyon Regional Water Authority, and to cast its vote on all issues related to the Canyon
Regional Water Authority.

* * * * *

CERTIFICATE OF SECRETARY

I, **Brittani Porter**, do hereby certify that I am the Secretary of the above said entity and that the above
and foregoing is a true, full and correct copy of the resolution duly adopted by the Members of the
Governing Body of the above said entity at its meeting held on April 14, 2022 and entered into the
Minutes of said entity; that the meeting was duly and regularly held in accordance with the Bylaws and or
laws governing the said entity; and that such resolution has not been rescinded or modified.

To certify which, witness my hand and seal of said entity this day April 14, 2022

Secretary

SEAL