



City of La Vernia
PLANNING & ZONING COMMISSION MEETING
102 E. Chihuahua St., La Vernia, Texas 78121
March 07, 2023
6:30 PM

AGENDA

1. **Call to Order**
2. **Invocation, Pledge of Allegiance and Texas Pledge**
3. **Citizens to Be Heard**
(At this time, citizens who have filled out a registration form prior to the start of the meeting may speak on any topic they wish to bring to the attention on the governing body so long as that topic is not on the agenda for this meeting. Citizens may speak on specific agenda items when that item is called for discussion. During the Citizens to Be Heard section no council action may take place and no council discussion or response is required to the speaker. A time limit of three minutes per speaker is permitted; the council may extend this time at their discretion.)
4. **Consent Agenda**
(All consent agenda items are considered routine by Planning & Zoning and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember requests an item be removed and considered separately.)
 - A. Minutes from 02-07-23 regular planning and Zoning Meeting
5. **Public Hearing**
 - A. Public hearing regarding the request for A Special Use Permit (SUP) to allow for a drive-thru in the C-1 zoning district regarding the space specifically known as 427 Bluebonnet Rd, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 441K, ACRES 7.59 BLUEBONNET RD LA VERNIA, TX 78121, and more specifically described as RBFCU ETM, which will occupy only a portion of this parcel as described in the attachment
 - A.1** Open Public Hearing
 - A.2** Requestor presentation
 - A.3** Staff presentation
 - A.4** Receive Public Comments
 - A.5** Close Public Hearing
 - A.6** Discuss and consider action regarding recommendation to City Council regarding Ordinance Number 030923-01 the SUP for RBFCU ETM
 - B. Public hearing regarding the request for CHANGE OF ZONING DISTRICT CLASSIFICATION FROM THE PRESENT CLASSIFICATION OF C2 TO C1 (RETAIL) regarding the space specifically known as CITY OF LA VERNIA, **15010 US HWY 87 W, LA VERNIA, TEXAS 78121** LEGALY KNOW AS **CITY OF LA VERNIA,**

LOT 101B, ACRES 46.6996, LA VERNIA, TEXAS, currently owned by Bonnie Chessher

- B.1** Open Public Hearing
- B.2** Requestor presentation
- B.3** Staff presentation
- B.4** Receive Public Comments
- B.5** Close Public Hearing
- B.6** Discuss and consider action regarding a recommendation to City Council regarding Ordinance Number 030923-02 the Rezone of **5010 US HWY 87 W, LA VERNIA, TEXAS 78121**

6. Discussion & Action

- A.** Discuss and consider action on making a recommendation to the City Council regarding Ordinance No. 030923-03 for pre-development meetings prior to the development of subdivisions or large commercial projects

7. Items Specific to Future Line Items on the Agenda

8. Adjourn

DECORUM REQUIRED

Any disruptive behavior, including shouting or derogatory statements or comments, may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leaves the meeting, and if refused, an order of removal.

The City Council for the City of La Vernia reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Open Meetings Act, Texas Governmental Code §551.071 (Consultation with Attorney), §551.072 (Deliberations about Real Property), §551.073 (Deliberations about Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations about Security Devices), and §551.087 (Economic Development), and any other provisions under Texas law that permits a governmental body to discuss a matter in closed executive session.

The City of La Vernia Council meetings is available to all persons regardless of disability. The facility is wheelchair-accessible parking spaces are available. Request for accommodations, should you require special assistance, must be made 48 hours prior to this meeting. Braille is not available. Please contact the City Secretary at (830) 779-4541 or email Lboyd@lavernia-tx.gov.

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the governing body of the above-named La Vernia Planning and Zoning Commission is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice on the bulletin boards of the City Hall of said La Vernia, Texas, a place convenient and readily accessible to the general public at all times, and said Notice was posted on March 3, **2023, at 5:00 PM** and remained so posted continuously for at least 72 Hours preceding the scheduled time of the said meeting.

Lindsey Wheeler, City Secretary



PLANNING & ZONING COMMISSION MEETING

102 E. Chihuahua St., La Vernia, Texas 78121

February 07, 2023

6:30 PM

MINUTES

1. Call to Order

Meeting Called to order at 6:30 pm

Commissioner Jacobs was absent

2. Invocation, Pledge of Allegiance and Texas Pledge

Chairwoman Hennette led the invocation and pledge

3. Citizens to Be Heard

(At this time, citizens who have filled out a registration form prior to the start of the meeting may speak on any topic they wish to bring to the attention of the governing body so long as that topic is not on the agenda for this meeting. Citizens may speak on specific agenda items when that item is called for discussion. During the Citizens to Be Heard section no council action may take place and no council discussion or response is required of the speaker. A time limit of three minutes per speaker is permitted; the council may extend this time at their discretion.)

There were no Citizens to be heard

4. Consent Agenda

(All consent agenda items are considered routine by Planning & Zoning and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember requests an item be removed and considered separately.)

A. Approve minutes from the January 17, 2023 - Regular Meeting.

Commissioner Tanneberger made a motion to accept the consent agenda as presented, seconded by Commissioner Witherell, all in favor MOTION PASSED

5. Public Hearing

A. A. A. Public hearing regarding the request to replat 105 Juniors PI, Lot 2, Block 2 of Westover Subdivision, Unit 2.

A.1 Open Public Hearing

A.2 Requestor presentation

A.3 Staff presentation

A.4 Receive Public Comments

A.5 Close Public Hearing

A.6 Discuss and consider approval of a replat of 105 Juniors PI

The public hearing opened at 6:31 pm

The owners of 105 Juniors Place Presented

No staff Presentaion

No public Comments

The public Hearing closed at 6:33 pm

Commissioner Witherell made a motion to approve the re-plat at 105 Juniors Place, seconded by Commissioner Raushuber, all in favor, MOTION PASSED

6. Discussion

A. Discuss Ch. 38 Sec. 38-403. - Landscaping standards.

Chairwoman Hennette suggests that the staff take another look at the landscape code compliance of the office building located at Walnut Springs

7. Items Specific to Future Line Items on the Agenda

Potential future discussion regarding requirement for sidewalks in new developments

8. Adjourn

Commissioner Tanneberger made a motion to adjourn the meeting at 6:47 pm, seconded by Commissioner Witherell, all in favor, meeting adjourned at 6:47 pm

DECORUM REQUIRED

Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order to the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

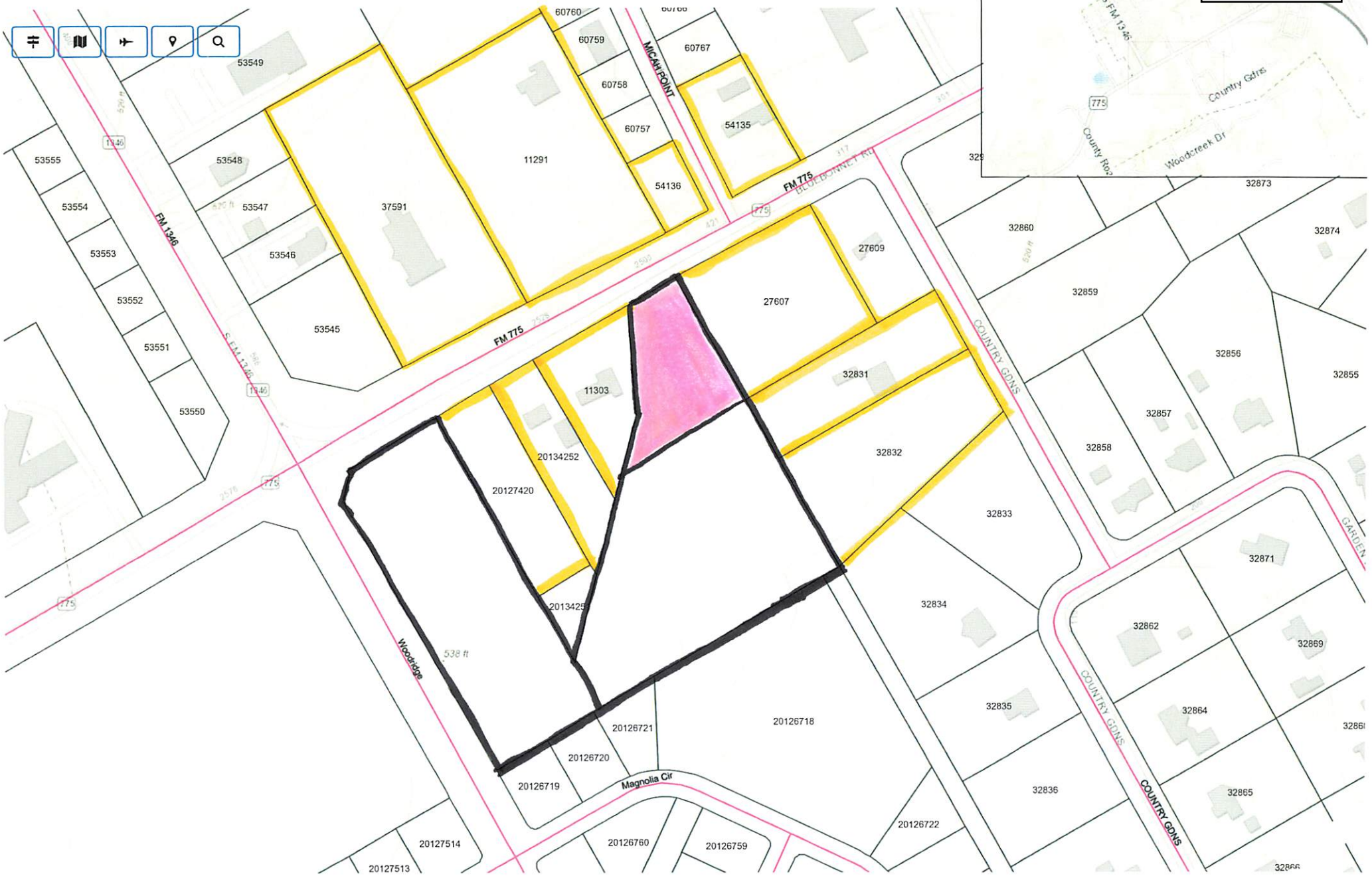
The City Council for the City of La Vernia reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Open Meetings Act, Texas Governmental Code §551.071 (Consultation with Attorney), §551.072 (Deliberations about Real Property), §551.073 (Deliberations about Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations about Security Devices), and §551.087 (Economic Development), and any other provisions under Texas law that permits a governmental body to discuss a matter in closed executive session.

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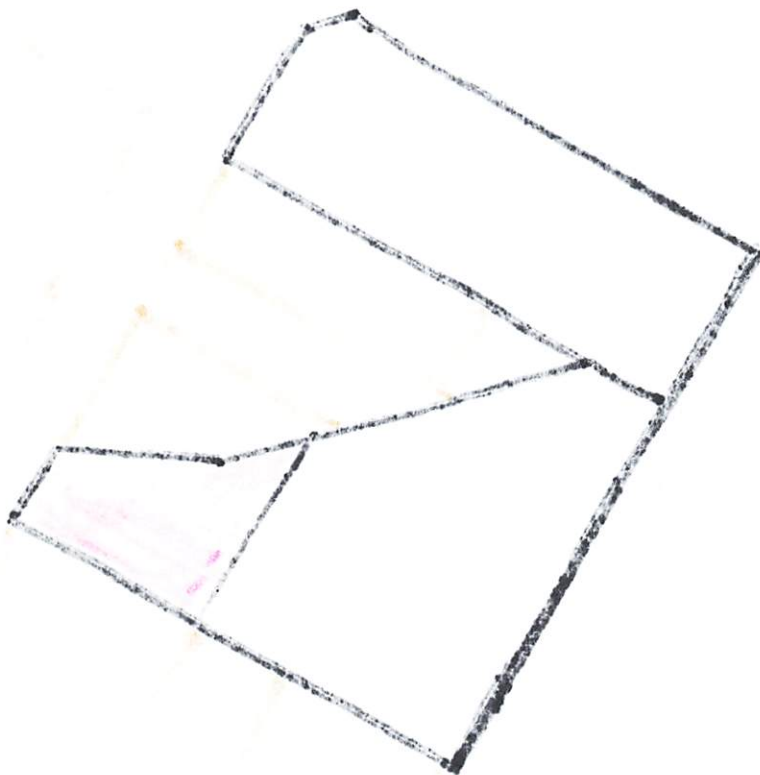
I, the undersigned authority, do hereby certify that the above Notice of Meeting of the governing body if the above named La Vernia Planning and Zoning Commission is a true and correct copy of said Notice and that I posted true and correct copy of said Notice on the bulletin boards of the City Hall of said La Vernia, Texas, a place convenient and readily accessible to the general public at all times, and said Notice was posted on **Month DD, 20YY at H:MM PM** and remained so posted continuously for at least 72 Hours preceding the scheduled time of said meeting.

Lindsey Wheeler, City Secretary

Section 5, Item A.



Property in question Property in 200 foot area



Legal Public Notice
NOTICE OF PUBLIC HEARINGS

PROPOSED SPECIFIC USE PERMIT

LA VERNIA PLANNING AND ZONING COMMISSION
AND
LA VERNIA CITY COUNCIL

Notice is hereby given that the City of La Vernia Planning and Zoning Commission will conduct a Public Hearing at 6:30 P.M. on the 7th day of February 2023; and the La Vernia City Council will conduct a Public Hearing at 6:30 P.M. on the 9th day of February 2023; with both Hearings to be held at the La Vernia City Hall, 102 East Chihuahua Street, La Vernia Texas 78121 at which time all interested parties shall have the opportunity to be heard with respect to the following proposed change for the property described as follows:

A Specific Use Permit (SUP) to allow for a drive-thru in the C-1 zoning district located at 427 Bluebonnet Rd, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 441K, ACRES 7.59 BLUEBONNET RD LA VERNIA, TX 78121, and more specifically known as RBFCU ETM



NOTICE OF PUBLIC HEARING

The City of La Vernia Planning & Zoning Commission and the La Vernia City Council will hold a public hearing at the request of RBFCU regarding the space specifically known as:

427 Bluebonnet Rd, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 441K, ACRES 7.59 BLUEBONNET RD LA VERNIA, TX 78121, and more specifically described as RBFCU ETM, which will occupy only a portion of this parcel as described in the attachment

Request: A Special Use Permit (SUP) to allow for a drive-thru in the C-1 zoning district

Because your property is located within 200 feet of the request, State Law requires that we notify you of the public hearing. However, the zoning of your property will not be affected. The public hearing process allows an opportunity to provide your written opinion of the request. This will aid the Planning Commission in making a recommendation to City Council.

A public hearing for this request is scheduled before the Planning & Zoning Commission on Tuesday, March 7th, 2023 at 6:30 PM and City Council on Thursday, March 9th, 2023 at 6:30 PM. Both meetings will be held at 102 E. Chihuahua St., Council Chambers, and are open to the public. To submit written comments please complete the information below, including your signature, and return to:

Mail: City of La Vernia
Lindsey Wheeler
PO Box 225
La Vernia, Texas 78121

Email: Lboyd@lavernia-tx.gov

If you have questions, please call Lindsey Wheeler at (830) 779-4541 ext. 3.

Lindsey Wheeler, City Secretary

YOUR OPINION MATTERS – DETACH AND RETURN

circle one

I am (in favor) (opposed) to the proposed Special Use Permit (SUP) to allow for a drive-thru in the C-1 zoning district for the property described as 427 Bluebonnet Rd, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 441K, ACRES 7.59 BLUEBONNET RD LA VERNIA, TX 78121, and more specifically described as RBFCU, which will occupy only a portion of this parcel as described in the attachment

Name: _____

Address: _____

Signature: _____

Date: _____

Comments: _____

By State Law – Unsigned submission cannot be counted as official comment.

Date Received 01-30-23
Permit/Receipt No. _____
Fee Paid ✓ \$250.00

City of La Vernia
Specific Use Permit
102 E. Chihuahua Street
P.O. Box 225, La Vernia, TX 78121
(830) 779-4541 • Metro/Fax (830) 253-1198



Land ownership must be verified with a notarized statement. If the applicant is acting as the agent for the property owner, the property owner must provide a signed and notarized letter authorizing the agent to act on their behalf, and the letter must accompany the application.

Name MJS Development

Mailing Address 4395 FM 775 La Vernia, TX 78121

Telephone _____ Fax _____ Mobile 2105088060 Email jschoe1047@aol.com

Property Address/Location 427 Bluebonnet Property ID No _____

Legal Description
Name of Subdivision The Silos of Woodbridge Farms

Lot(s) _____ Block(s) _____ Acreage _____

Existing Use of Property Parking lot and retail space

Proposed Use of Property (attach additional or supporting information if necessary) ETM in parking lot

Current Zoning C1

Proposed use of Property and/or Reason for Request (please explain in detail and attach additional pages if needed):
Rbfcu came to the city for a location to place and ETM. They were referred to MJS.

RBFCU and MJS designed the master plan to include the ETM. This was all sent out for public approval then approved by P & Z and City Council. Please approve the SUP.

Attachments:

- _____ Accurate metes and bounds description of the subject property (or other suitable legal description)
- _____ Survey exhibit and other appropriate exhibits as deemed necessary by the city including, but not limited to, site plans, maps, architectural elevations, and information about proposed uses.
- _____ Notarized statement verifying land ownership and if applicable, authorization of land owner's agent to file the zoning change request.

A denied application is ineligible for reconsideration for one year.

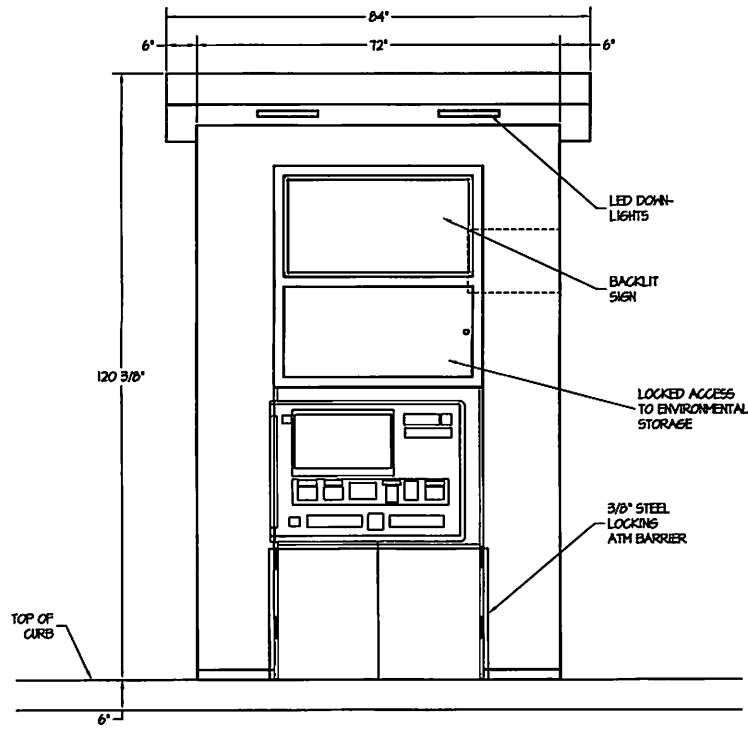
The undersigned hereby requests rezoning of the above described property as indicated:

James Schoe
Signature of Owner(s)/Agent

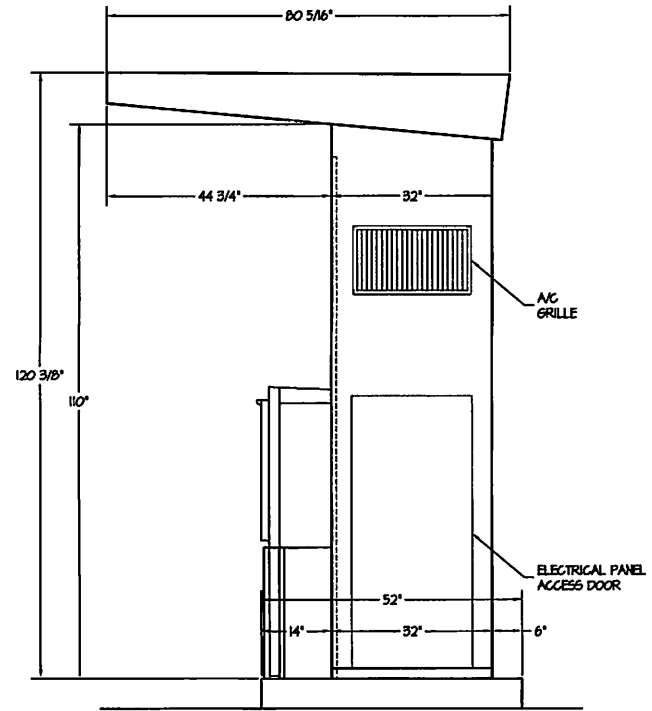
Partly unit #14689
-LW

1-27-23
Date


For Office Use Only	
Date of Publication _____	Date of P&Z Public Hearing <u><i>03-07-23</i></u>
Date of 200 Ft Notices _____	Date of Council Public Hearing <u><i>03-09-23</i></u>
Ordinance No. <u><i>030923-01</i></u>	Approved _____ Denied _____



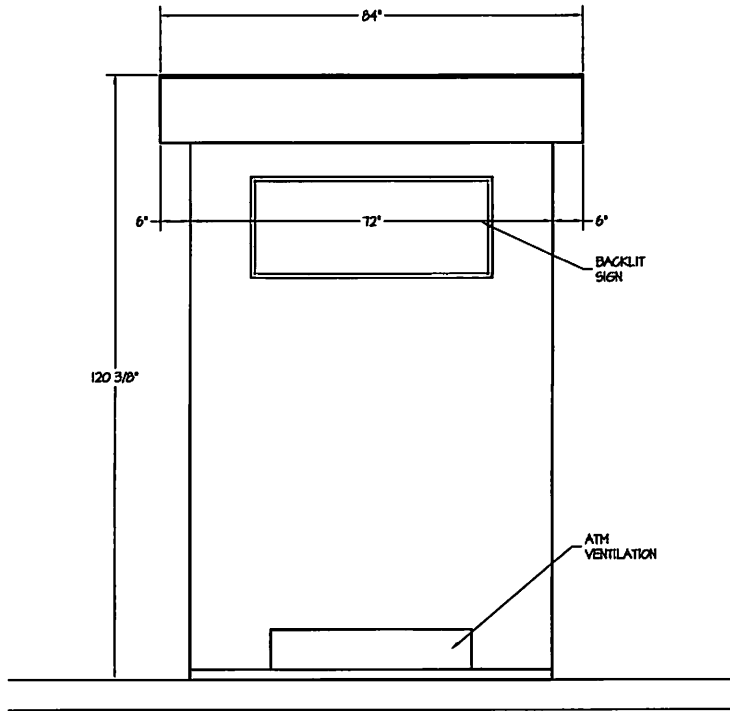
FRONT ELEVATION
1/2" = 1'-0"



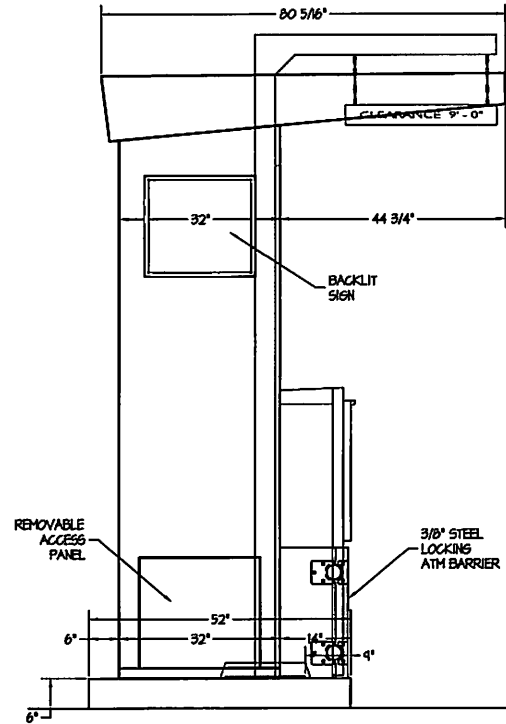
EXIT ELEVATION
1/2" = 1'-0"

Drawn by JDK	Date: 11/03/22
Job Number: 30943	File Name: 30943SP
	
10208 L. Street Omaha, Nebraska 68127 Phone: (402) 592-0800 Fax: (402) 592-3572 www.tmsdesign.com	
RANDOLPH BROOKS FCU UNIVERSAL CITY, TX HT1904 KIOSK W/ HYOSUNG T8001	


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REAR ELEVATION
1/2" = 1'-0"



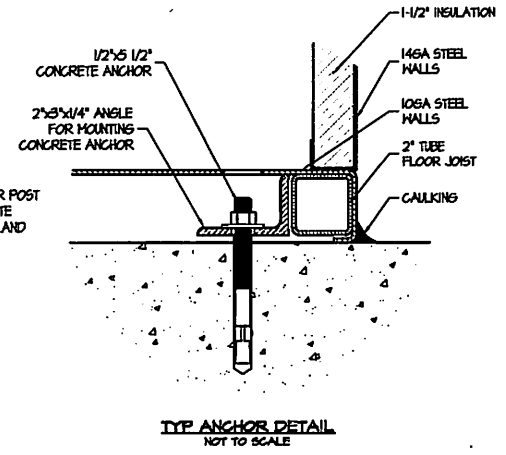
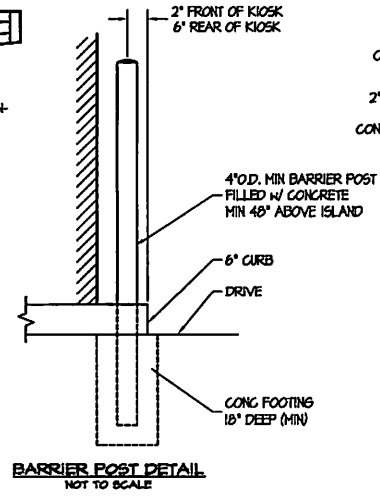
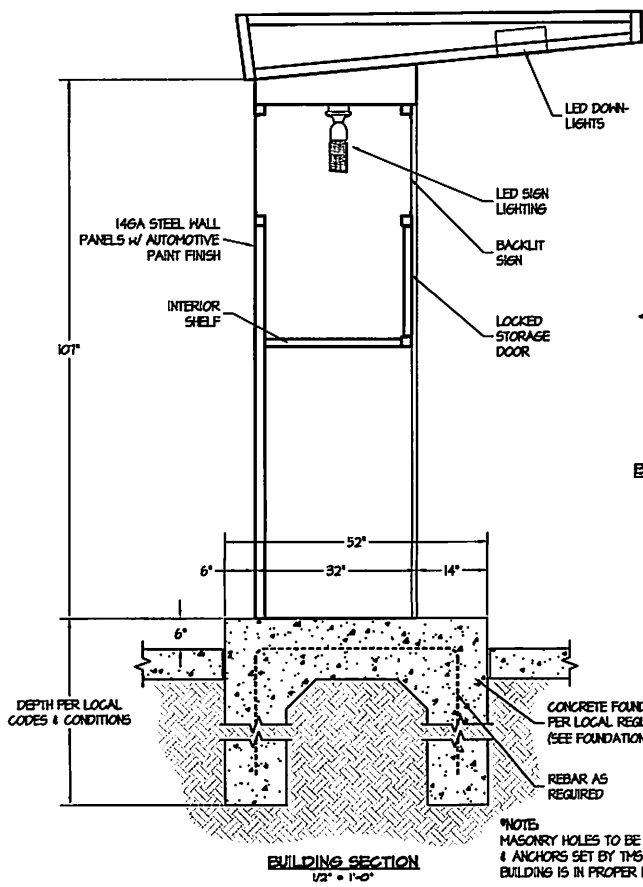
APPROACH ELEVATION
1/2" = 1'-0"

Drawn by JDK	Date 11/05/22
Job Number 30943	File Name 30943SP
	
10208 L Street Omaha, Nebraska 68127 Phone: (402) 592-0600 Fax: (402) 592-3572 www.tmsdesign.com	
RANDOLPH BROOKS FCU UNIVERSAL CITY, TX HT1904 KIOSK w/ HYOSUNG T8001	

PAGE 2 OF 4

**ELECTRIC PANEL DIAGRAM
40 AMP MAIN 120V
SINGLE PHASE**

CKT	USE	BKR	CKT	USE	BKR
1	MAIN	40	2	TIMER	20
3	A.C.	DP	4	GENERAL	20
5	A.C.	20	6	SPACE	-
7	HEAT	20	8	SPACE	-



ELECTRICAL NOTES:

HERITAGE INDUSTRIES HAS INSTALLED THE BUILDING ELECTRICAL SYSTEM TO THE ELECTRICAL PANEL. IT IS THE SITE CONTRACTORS' RESPONSIBILITY TO FURNISH AND INSTALL THE ELECTRICAL SERVICE AND METERING TO THE BUILDING, MAKING CONNECTIONS TO THE ELECTRICAL PANEL THROUGH THE PROVIDED RACEWAY. HERITAGE PROVIDES TWO OTHER RACEWAYS INSIDE THE BUILDING, 1. PHONE DATA AND 2. SECURITY SYSTEM. SITE CONTRACTOR IS RESPONSIBLE FOR BRINGING SERVICE TO THE BUILDING, AND PULLING ALL WIRES THROUGH THE PROVIDED RACEWAYS FOR PHONE, DATA, AND THE SECURITY SYSTEM INSIDE THE BUILDING.

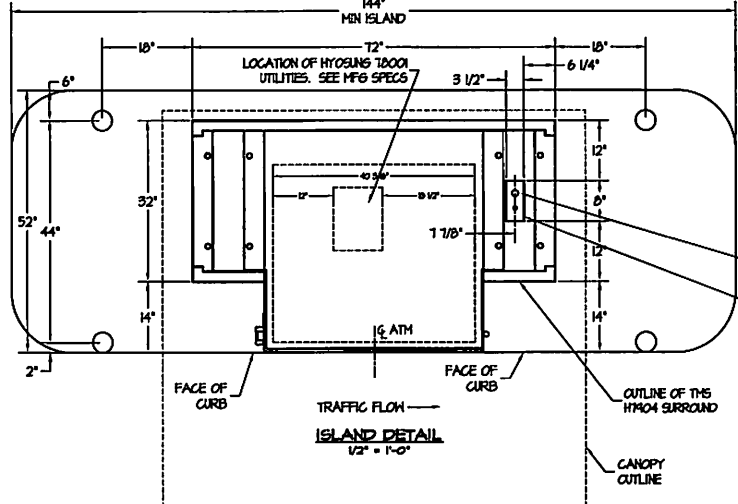
ALL PERMITS ARE THE RESPONSIBILITY OF THE OWNER / CONTRACTOR.

FOUNDATION NOTES:

THE DESIGN AND CONSTRUCTION OF FOOTINGS AND FOUNDATIONS ARE THE SITE CONTRACTORS' RESPONSIBILITY AND SHALL CONFIRM WITH ALL LOCAL BUILDING CODE REQUIREMENTS. FOUNDATIONS MUST CONFORM WITH LAYOUT DIMENSIONS PROVIDED. DIMENSIONS SUCH AS FOOTING AND FOUNDATION WALLS MAY BE CHANGED TO CONFORM WITH LOCAL REQUIREMENTS. BUILDING DESIGN LOADS WILL IMPOSE A LOAD OF 1200 POUNDS PER LINEAR FOOT ON TOP OF THE FOUNDATION WALL.

ISLAND NOTES

ISLAND (AT BUILDING LOCATION) MUST BE LEVEL LEFT TO RIGHT AND FRONT TO BACK. 6" CURB HEIGHT ABOVE DRIVE IS REQUIRED ALONG THE FRONT (CUSTOMER SIDE) OF THE ISLAND. IF THIS IS NOT POSSIBLE ALONG THE ENTIRE FRONT OF THE ISLAND DUE TO THE SLOPE OF THE DRIVE, THE ISLAND SHOULD BE BUILT SUCH THAT A 6" CURB HEIGHT IS AT THE LOCATION OF THE ATM. ISLAND, INCLUDING FOUNDATION, PAD AND INTEGRATED CURB, SHALL BE ONE MONOLITHIC POUR.

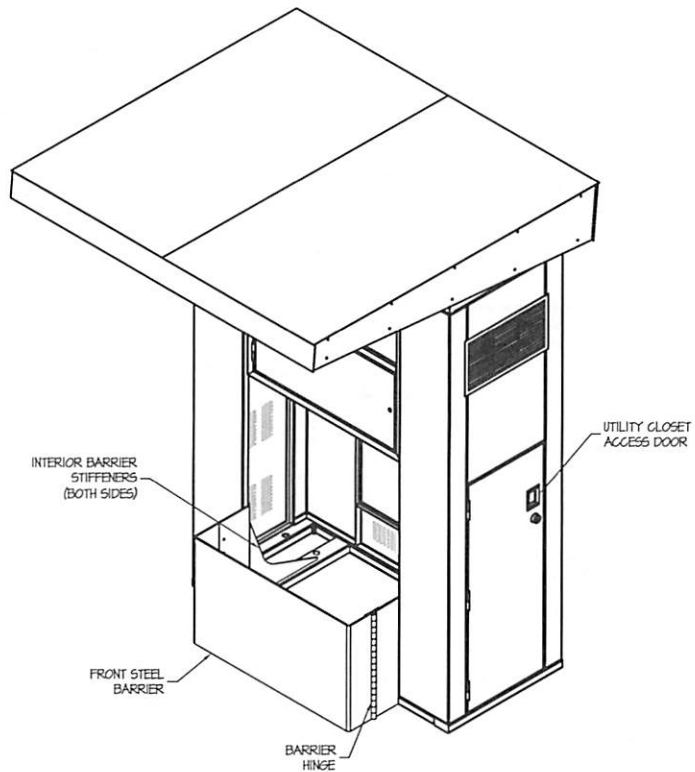


STUB-UP 1/4" CONDUIT FOR 40 AMP 120V PANEL BOX
STUB-UP 3/4" SPARE CONDUIT
BLOCKOUT IN CONCRETE FOR UTILITIES

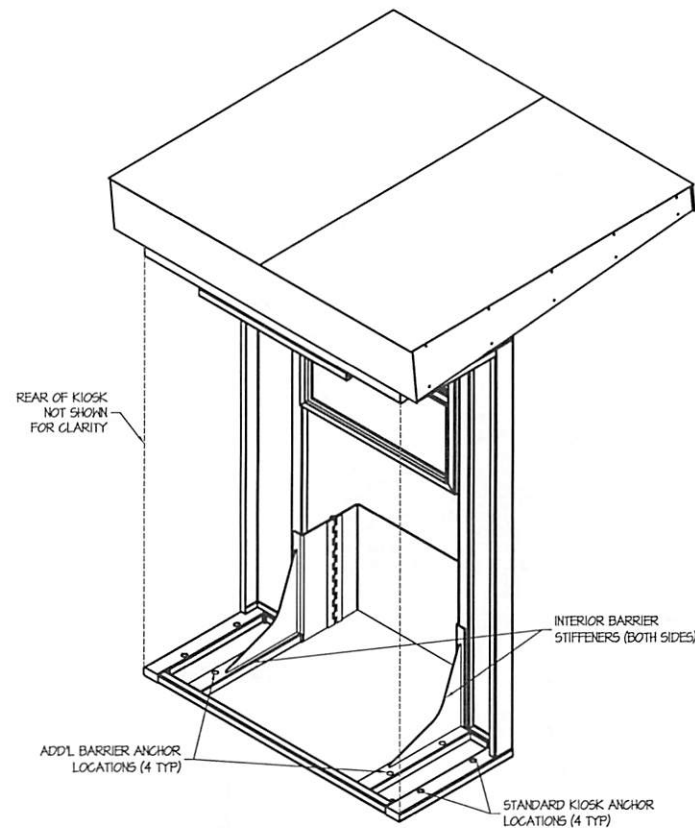
Drawn by: **JDK** Date: **11/05/22**
 Job Number: **30943** File Name: **30943SP**

 10208 L Street
 Omaha, Nebraska 68127
 Phone: (402) 592-0600
 Fax: (402) 592-3572
 www.tmsdesign.com
**RANDOLPH BROOKS FCU
 UNIVERSAL CITY, TX
 H7404 KIOSK W/ HYDRONIC T8001**

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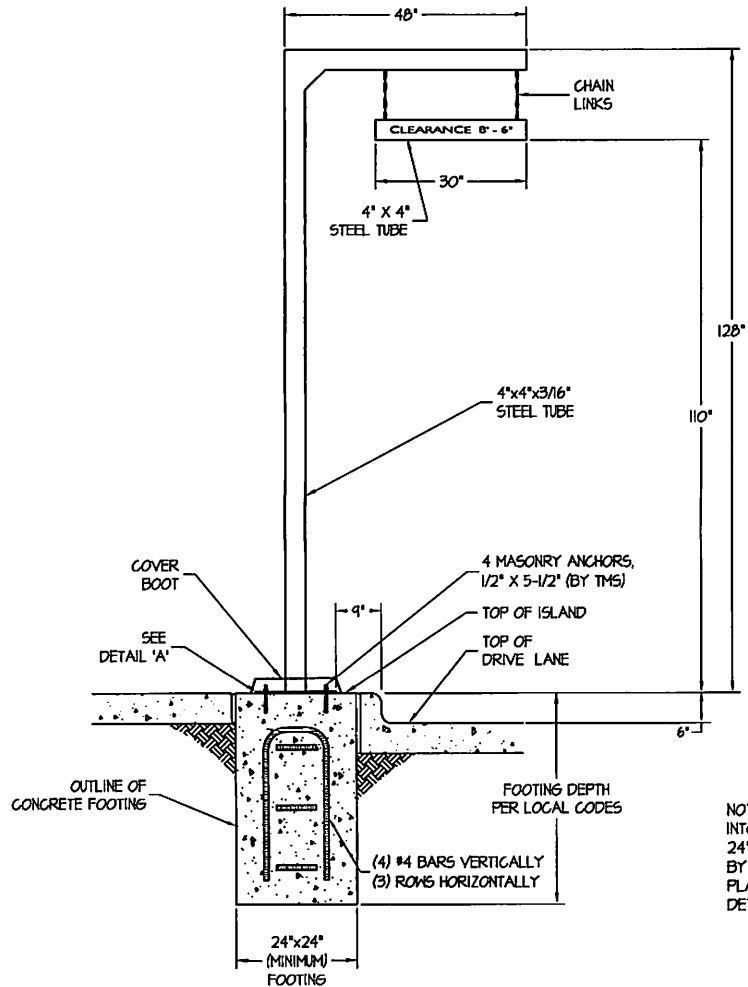
FRONT ISO ELEVATION
NOT TO SCALE



PARTIAL REAR ISO ELEVATION
NOT TO SCALE

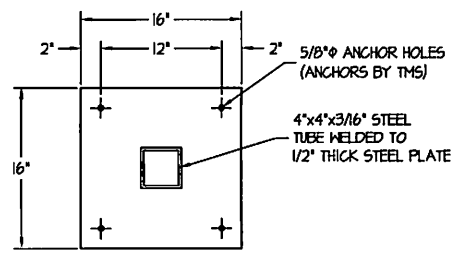
Drawn by JDK	Date 11/05/22
Job Number 30943	File Name 30943SP
	
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RANDOLPH BROOKS FCU UNIVERSAL CITY, TX HT904 KIOSK W/ HYOSUNG T8001	

PAGE 4 OF 4




FOOTING DETAIL
NOT TO SCALE

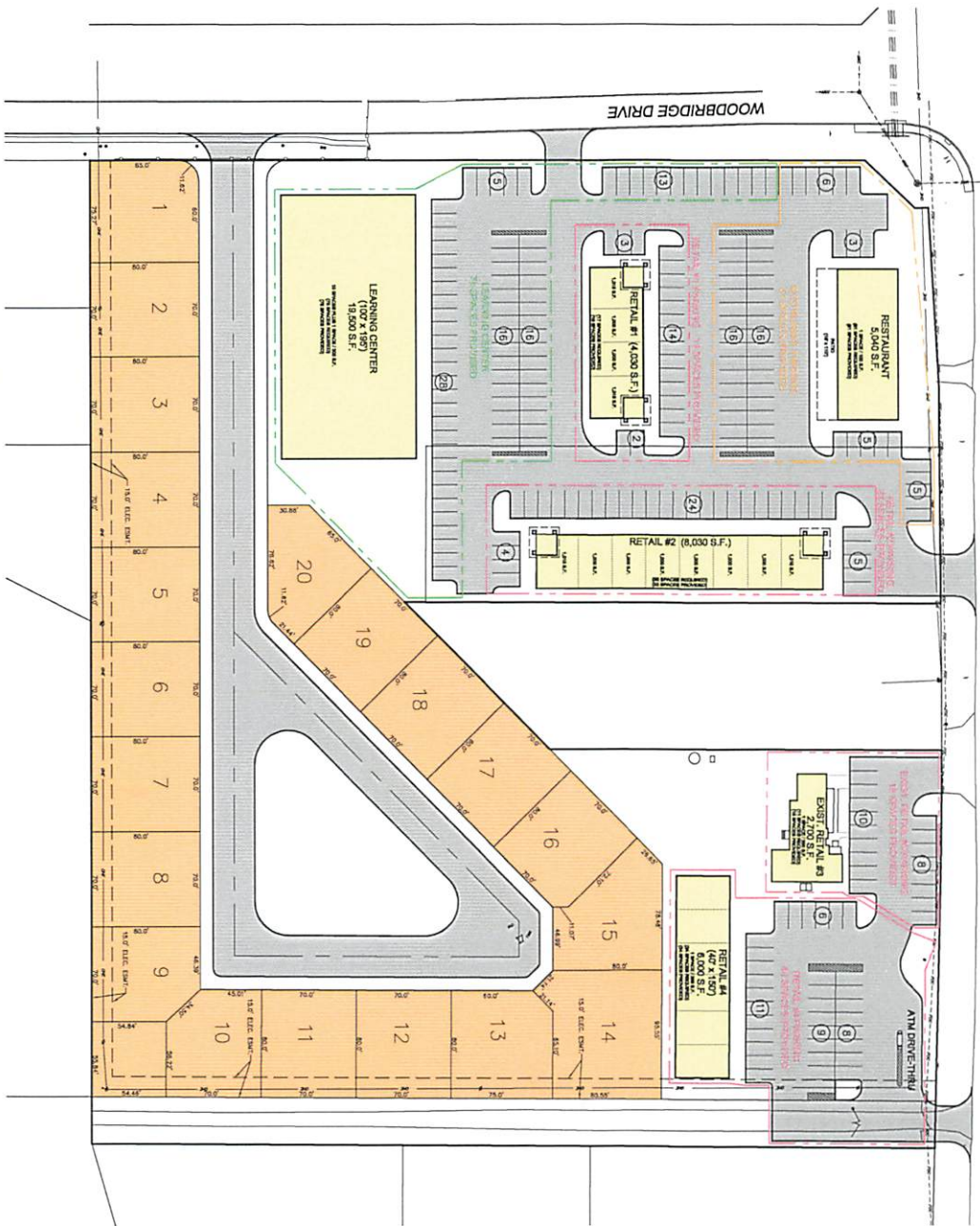
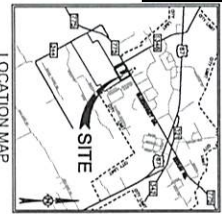
NOTE: CLEARANCE BAR MUST BE ANCHORED INTO A CONCRETE PAD THAT IS A MINIMUM OF 24"x24". THE DEPTH OF THE PAD IS DETERMINED BY LOCAL CODES WITH A MINIMUM OF 30". PLACEMENT OF CLEARANCE BAR IS TO BE DETERMINED BY CUSTOMER.



DETAIL A
NOT TO SCALE

Drawn by JDK	Date: 11/08/22
Job Number: 30943	File Name: 30943SP
	
10208 L Street Omaha, Nebraska 68127 Phone: (402) 592-0600 Fax: (402) 592-3572 www.tmsdesign.com	
RANDOLPH BROOKS FCU CLEARANCE BAR W/ 4' O.H.	

SUPPLEMENTAL

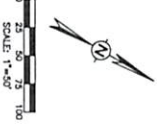


WOODBRIDGE COMMERCIAL

DATE	3/19/22
DESIGNED BY	P.K.
CHECKED BY	A.C.
REVIEWED BY	A.C.
PROJECT NUMBER	219542.03

WOODBRIDGE COMMERCIAL

RETAIL #1	4,000 S.F.
RETAIL #2	8,000 S.F.
RETAIL #4	6,000 S.F.
EXISTING RETAIL #3	2,700 S.F.
RESTAURANT	3,000 S.F.
LEARNING CENTER	15,000 S.F.
ATM DRIVE-THRU	
PARKING	20 STALLS



NO.	DATE	REVISION	BY

DATE	3/19/22
DRAWN BY	P.K.
DESIGNED BY	A.C.
CHECKED BY	A.C.
REVIEWED BY	A.C.
PROJECT NUMBER	219542.03

WOODBRIDGE COMMERCIAL

MJS DEVELOPMENT, LLC
 4395 F.M. 775
 LA VERNIA, TX 78121

MASTER PLAN

CHAMACHO-HERNANDEZ & ASSOCIATES, LLC
 Engineering - Planning - Transportation - Related Services

415 Embassy Oaks, Suite 205
 San Antonio, Texas 78216
 Phone: (210) 341-6200, Fax: (210) 341-6300
 TBPE Firm No. F-8478

CIVIL CONSTRUCTION PLANS FOR WOODBIDGE COMMERCIAL SUBDIVISION SITE WORK, SWPPP, DRAINAGE, AND UTILITIES

SUBMITTED BY :

Arturo Camacho

ARTURO CAMACHO JR.
REGISTERED PROFESSIONAL ENGINEER NO. 91711

1/11/23
DATE

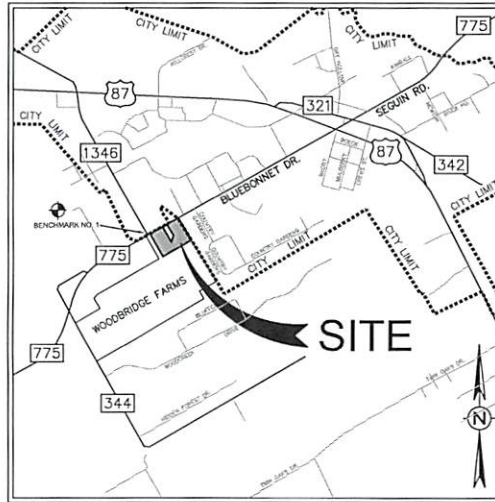
415 EMBASSY OAKS, SUITE 205
SAN ANTONIO, TEXAS 78216
PH. (210) 341-6200
FAX (210) 341-6300

BENCHMARKS

BM #1	TXDOT BENCHMARK
⊕	ELEV. = 527.79 N = 13,677,573.6710 E = 2,246,137.0408

NOTE TO CONTRACTOR:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT THE NOTICE OF INTENT (NOI) HAS BEEN FILED AND POSTED ONSITE FOR PUBLIC AND THE TPDES REPORT ARE AVAILABLE AT A LOCATION 20 MINUTES FROM THE SITE.
2. CONTRACTOR SHALL INSTALL STORM WATER POLLUTION PREVENTION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (DEMOLITION, EXCAVATION, GRUBBING, ETC.)
3. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED ON THESE PLANS, SHALL CONFORM TO ALL APPLICABLE CITY OF LA VERNA SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND THE PROPER REMOVAL/DISPOSAL OF ALL ABOVE GROUND ITEMS INCLUDING, BUT NOT LIMITED TO CONCRETE FLATWORK, CONCRETE STRUCTURES, WINDMILLS, WATER TANKS, HOUSE STRUCTURES, BARN, STORAGE SHEDS, SEPTIC TANKS, PAVEMENT, TRASH, AND MISCELLANEOUS DEBRIS. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE EXISTING FACILITIES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. (NO SEPARATE ITEMS)
5. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MAINTAINED AT ALL TIMES (24 HOURS PER DAY) DURING THE CONSTRUCTION PROCESS.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FACILITIES FROM DAMAGE AND COST OF REPAIR TO EXISTING FACILITIES AND IMPROVEMENTS AS A RESULT OF THE CONTRACTOR'S WORK. ANY EXISTING PAVEMENT, CURBS, BUILDINGS, SIGNS, SIDEWALKS, WALLS, FENCES, UTILITY INFRASTRUCTURE, TREES, ETC. DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
7. CONTRACTOR SHALL INCLUDE IN HIS BID THE REQUIRED ADJUSTMENT OF ALL VALVES, VALVE COVERS, MANHOLE LIDS, FIRE HYDRANTS, CLEANOUTS, TELEPHONE PEDESTALS, AND ANY OTHER MISC. UTILITY ITEM WHETHER SHOWN ON THESE PLANS OR NOT.
8. BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
9. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS (BOTH VERTICALLY AND HORIZONTALLY) PRIOR TO BEGINNING ANY CONSTRUCTION.



VICINITY MAP
N.T.S.

SUBMITTAL DATE:
JANUARY 2023

LEGAL DESCRIPTION

BEING A 9.057-ACRE TRACT OF LAND OUT OF THE JUAN DELGADO SURVEY, SECTION 8, ABSTRACT 8, WILSON COUNTY, TEXAS, SAME TRACT ALSO A PART OF A 141-ACRE TRACT OF LAND AS DESCRIBED AND RECORDED IN VOLUME 1339, PAGE 380 TO LOREN NICHOLAS FRYAR, OFFICIAL PUBLIC RECORDS OF WILSON COUNTY, TEXAS.

DEVELOPER:
MJS DEVELOPMENT, LLC
4395 F.M. 775
LA VERNA, TX 78121

CAMACHO-HERNANDEZ & ASSOCIATES PROJECT NO.: 219042.03

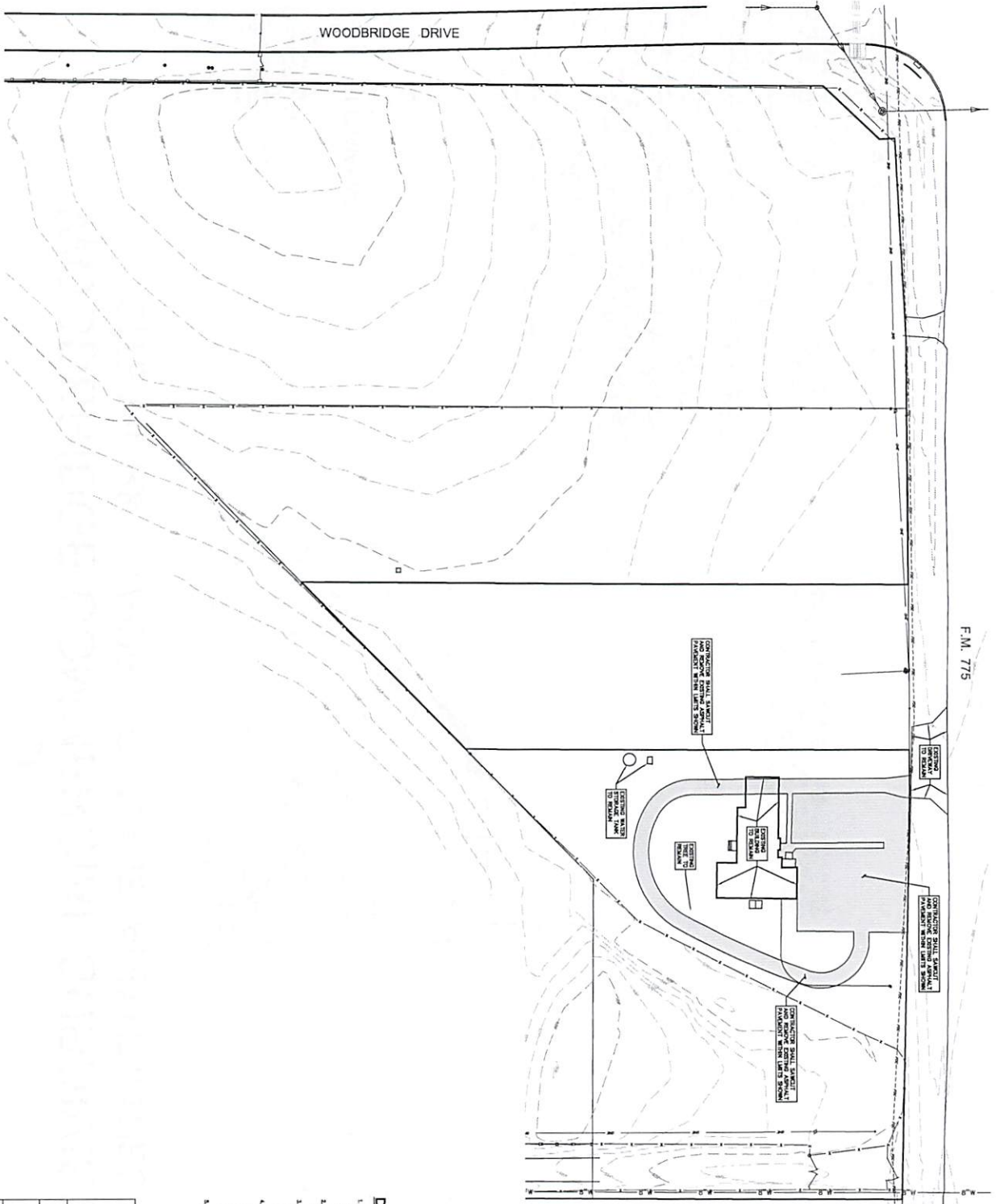
INDEX	
SHEET NO.	TITLE / DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	STORM WATER POLLUTION PREVENTION PLAN
4	STORM WATER POLLUTION PREVENTION DETAILS
5	SITE AND DIMENSIONAL CONTROL PLAN
6	PAVING AND SIGNAGE PLAN
7	GRADING AND DRAINAGE PLAN
8	GRADING AND DRAINAGE DETAILS
9	OVERALL UTILITY PLAN
10	SITE DETAILS (SHEET 1 OF 2)
11	SITE DETAILS (SHEET 2 OF 2)

NO.	REVISION DESCRIPTION	APPROVED BY	DATE

CH CAMACHO-HERNANDEZ
& ASSOCIATES, LLC
Engineering - Planning - Transportation - Related Services

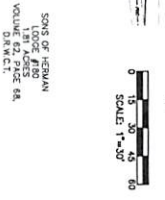
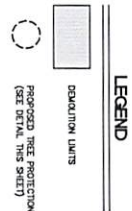
415 Embassy Oaks, Suite 205
San Antonio, Texas 78216
Phone: (210) 341-6200, Fax: (210) 341-6300
TBPE Firm No. F-8478

SHEET
1
OF 11



CALL BEFORE YOU DIG!
 TEXAS ONE CALL ADVISORY BOARD
 TEXAS ONE CALL SYSTEM
 1-800-443-4343
 AT&T LOCATE GROUP
 AT 1-800-828-5127
 THE LONE STAR
 NOTIFICATION COMPANY
 AT 1-800-889-8244
 TEXAS EXCAVATION SAFETY SYSTEM
 1-800-344-8377

- DEMOLITION GENERAL NOTES**
1. LOCATION AND extent of existing utilities shown on this plan are approximate only. Actual location and depth shall be verified by utility locators. All utility locations shall be marked with flags and numbered for the protection of same.
 2. ALL EXISTING UTILITIES NOT SPECIFICALLY NOTED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN RISK AND WITHOUT NOTICE TO THE OWNER.
 3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY OWNERS AND AGENCY OF PUBLIC UTILITIES AND TELECOMMUNICATIONS FOR THE PROTECTION OF SAME.
 4. ALL AREAS SURROUNDING EXISTING UTILITIES SHALL BE SECURED AFTER DEMOLITION OPERATIONS TO PREVENT ACCESS TO EXISTING UTILITIES AND TO PREVENT DAMAGE TO EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A DEMOLITION PROTECTION SYSTEM TO PREVENT DAMAGE TO EXISTING UTILITIES. THE DEMOLITION PROTECTION SYSTEM SHALL BE DESIGNED TO AVOID ALL UNDERGROUND UTILITIES AND SHALL BE REMOVED UPON COMPLETION OF DEMOLITION OPERATIONS.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.



NO.	DATE	REVISION	BY

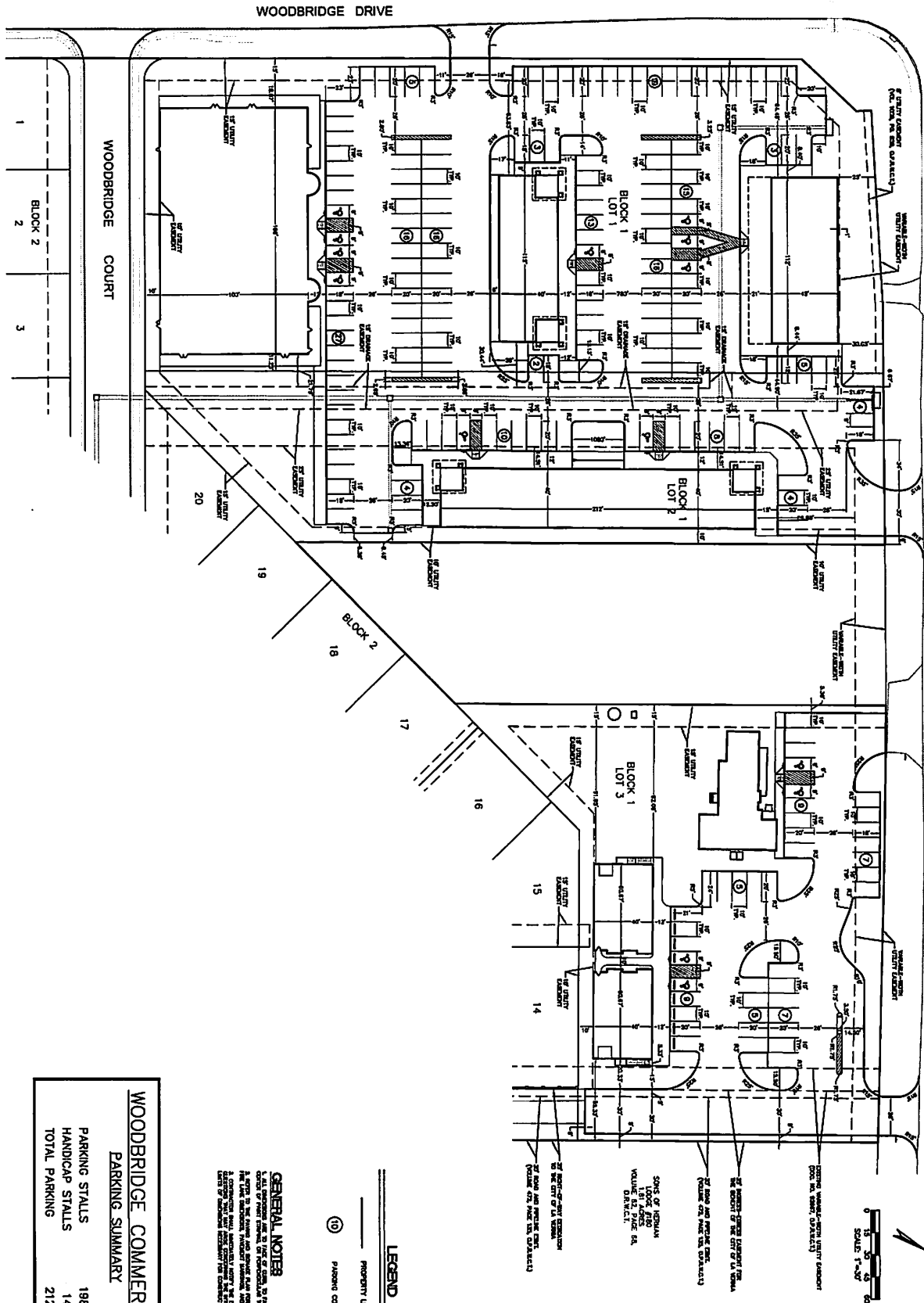
DATE: 1/11/23
 DRAWN BY: P.K.
 DESIGNED BY: A.C.
 CHECKED BY: A.C.
 REVIEWED BY: A.C.
 PROJECT NUMBER: 22250421

WOODBRIDGE COMMERCIAL
 MJS DEVELOPMENT, LLC
 4305 F.M. 775
 LA VERNIA, TX 78121

EXISTING CONDITIONS AND DEMOLITION PLAN



CH CAMACHO-HERNADEZ & ASSOCIATES, LLC
 Engineering - Planning - Transportation - Related Services
 415 Embassy Oaks, Suite 205
 San Antonio, Texas 78216
 Phone: (210) 341-6200, Fax: (210) 341-6300
 TBE Firm No. F-6478



WOODBRIDGE COMMERCIAL	
PARKING SUMMARY	
PARKING STALLS	188
HANDICAP STALLS	14
TOTAL PARKING	212

GENERAL NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

LEGEND
 ——— PROPERTY LINE
 (P) PARKING COURT

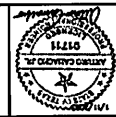
DATE	1/11/23
DRAWN BY	PJK
DESIGNED BY	A.C.
CHECKED BY	A.C.
PROJECT NUMBER	223043LH

WOODBRIDGE COMMERCIAL
 MJS DEVELOPMENT, LLC
 4395 F.M. 775
 LA VERNIA TX 78121

SITE AND DIMENSIONAL CONTROL PLAN



CH CAMACHO-HERNANDEZ & ASSOCIATES, LLC
 Engineering • Planning • Transportation • Related Services
 415 Embassy Oaks, Suite 205
 San Antonio, Texas 78216
 Phone: (210) 341-6200, Fax: (210) 341-6300
 TBPE Firm No. F-0478

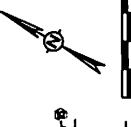
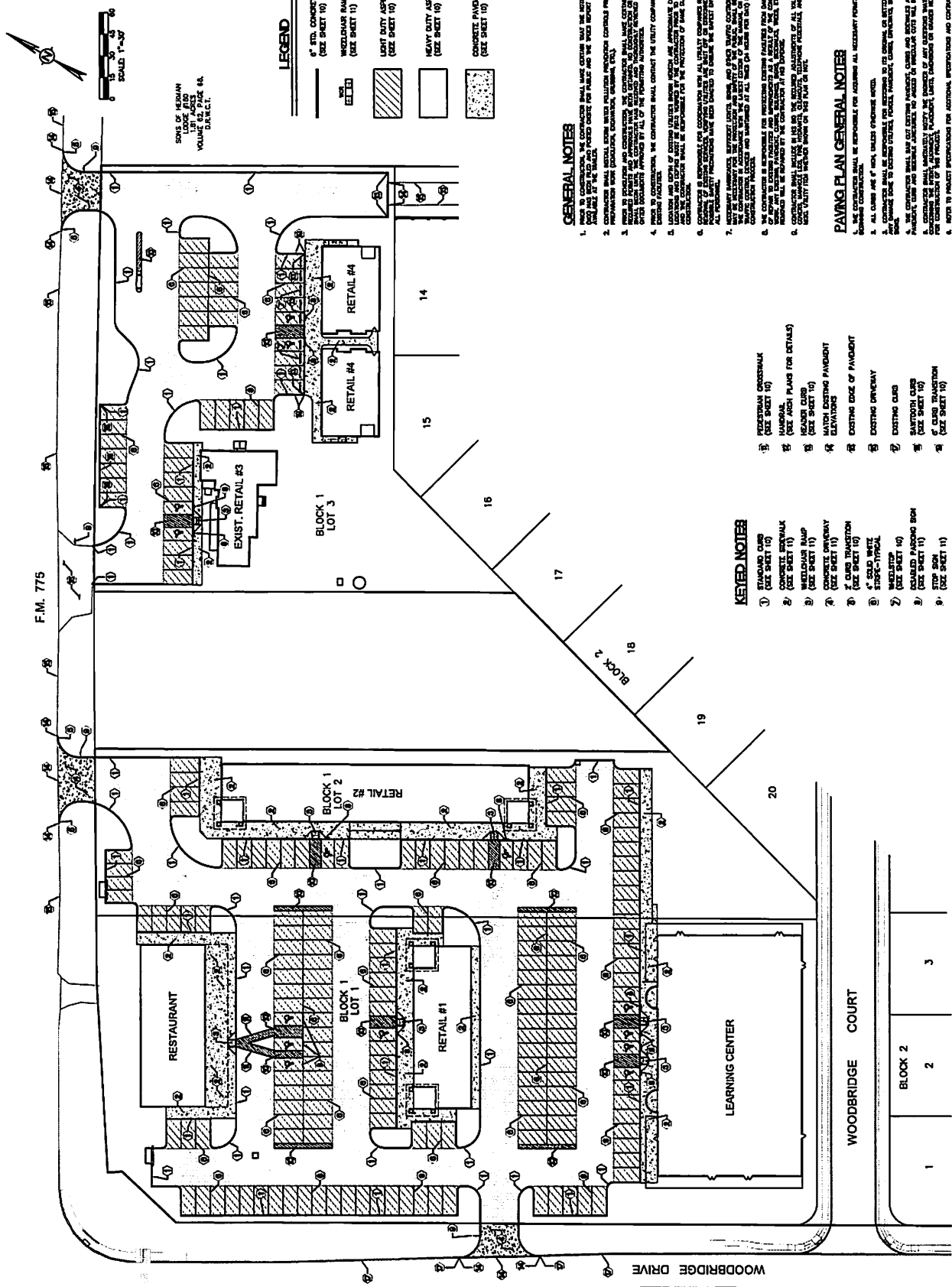


PAVING AND SIGNAGE PLAN

WOODBRIDGE COMMERCIAL
 M/S DEVELOPMENT, L.L.C.
 4395 F.M. 775
 LA VERNA, TX 78121

Section 5, Item A.

NO.	DATE	REVISION



SPONSOR: MERRIAN
 1317 JAMES ST.
 HOUSTON, TX 77002

LEGEND

- 6" STD. CONCRETE CURB (SEE SHEET 10)
- WHEELCHAIR RAMP (SEE SHEET 11)
- LIGHT DUTY ASPHALT PAVEMENT (SEE SHEET 10)
- HEAVY DUTY ASPHALT PAVEMENT (SEE SHEET 10)
- CONCRETE PAVEMENT (SEE SHEET 10)

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT THE LOCATIONS OF EXISTING UTILITIES ARE CORRECTLY LOCATED AND DEPTHS ARE AS SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION WORK.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED TO BE REMOVED OR RELOCATED. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS AND PAVEMENT UNLESS OTHERWISE NOTED TO BE REMOVED OR REPAIRED. ANY DAMAGE TO EXISTING CURBS AND PAVEMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL MAINTAIN ALL EXISTING SIGNAGE UNLESS OTHERWISE NOTED TO BE REMOVED OR REPAIRED. ANY DAMAGE TO EXISTING SIGNAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
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PAVING PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
2. ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL MAINTAIN ALL EXISTING CURBS UNLESS OTHERWISE NOTED TO BE REMOVED OR REPAIRED. ANY DAMAGE TO EXISTING CURBS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
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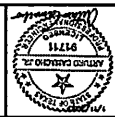
KEYNOTE NOTES

- 1 RESTAURANT CROSSWALK (SEE SHEET 10)
- 2 CONCRETE CROSSWALK (SEE SHEET 10)
- 3 WHEELCHAIR RAMP (SEE SHEET 11)
- 4 CONCRETE DRIVEWAY (SEE SHEET 10)
- 5 CONCRETE DRIVEWAY (SEE SHEET 10)
- 6 CONCRETE DRIVEWAY (SEE SHEET 10)
- 7 CONCRETE DRIVEWAY (SEE SHEET 10)
- 8 CONCRETE DRIVEWAY (SEE SHEET 10)
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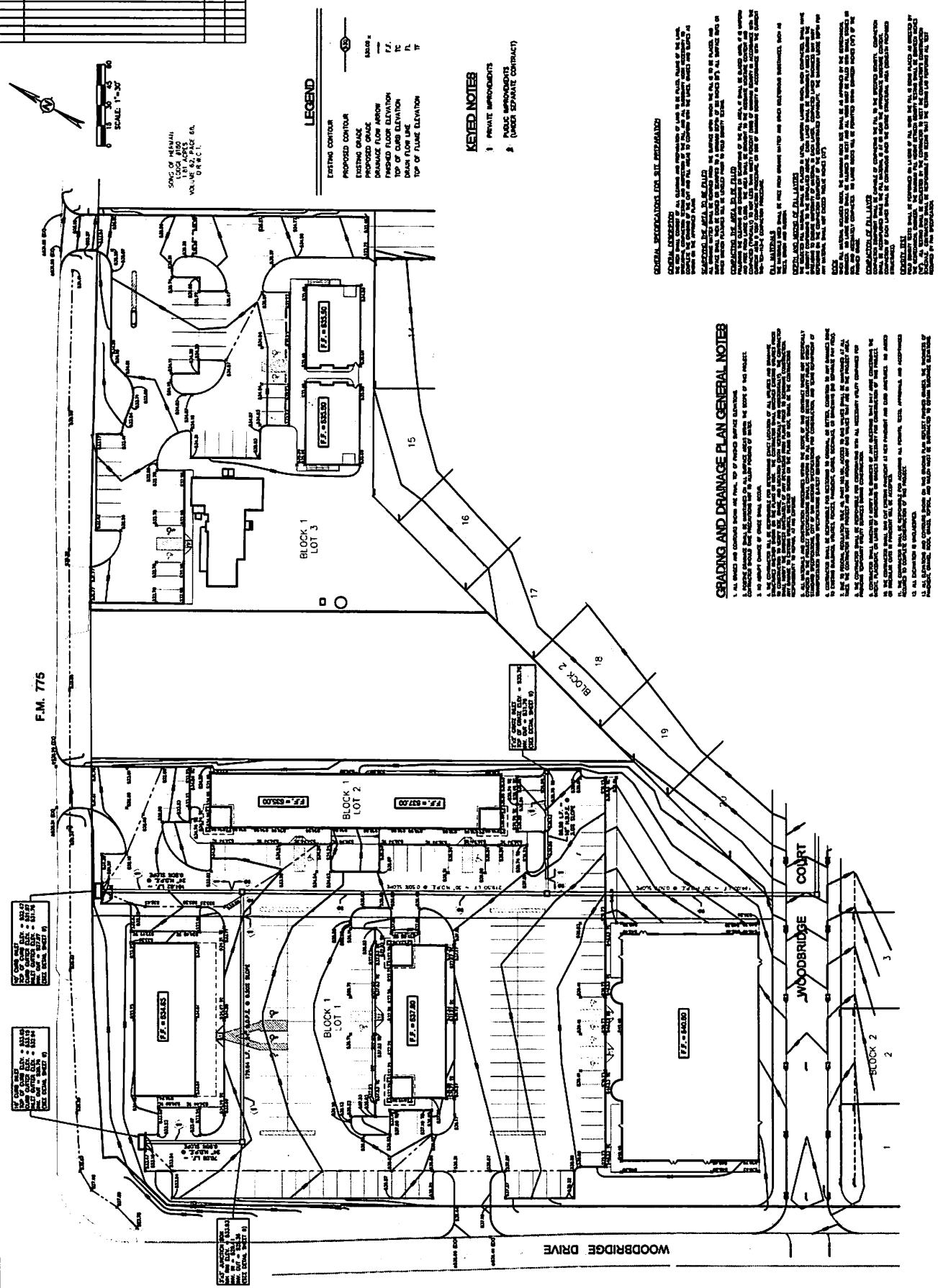
NO.	1
DATE	11/13/23
BY	MS
CHKD BY	MS
APP'D BY	MS

WOODBRIDGE COMMERCIAL
 4395 F.M. 775
 LA VERNA, TX 78121

GRADING AND DRAINAGE PLAN



GH CANACHO-HERNANDEZ ASSOCIATES, LTD.
 413 Embassy Oaks, Suite 200
 San Antonio, Texas 78215
 Phone: (214) 341-0200, Fax: (214) 341-0300
 TDP# Form No. F-4478



LEGEND

- EXISTING CONTOUR
- PROPOSED GRADE
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED GRADE
- TOP OF CURB ELEVATION
- DRAIN FLOW LINE
- TOP OF FLUME ELEVATION

KEYED NOTES

- 1 PRIVATE IMPROVEMENTS
- 2 PUBLIC IMPROVEMENTS
- 3 (PAGE SEPARATE CONTRACT)

GRADING AND DRAINAGE PLAN GENERAL NOTES

1. ALL DIMENSIONS AND LOCATIONS ARE GIVEN IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD OR TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES.

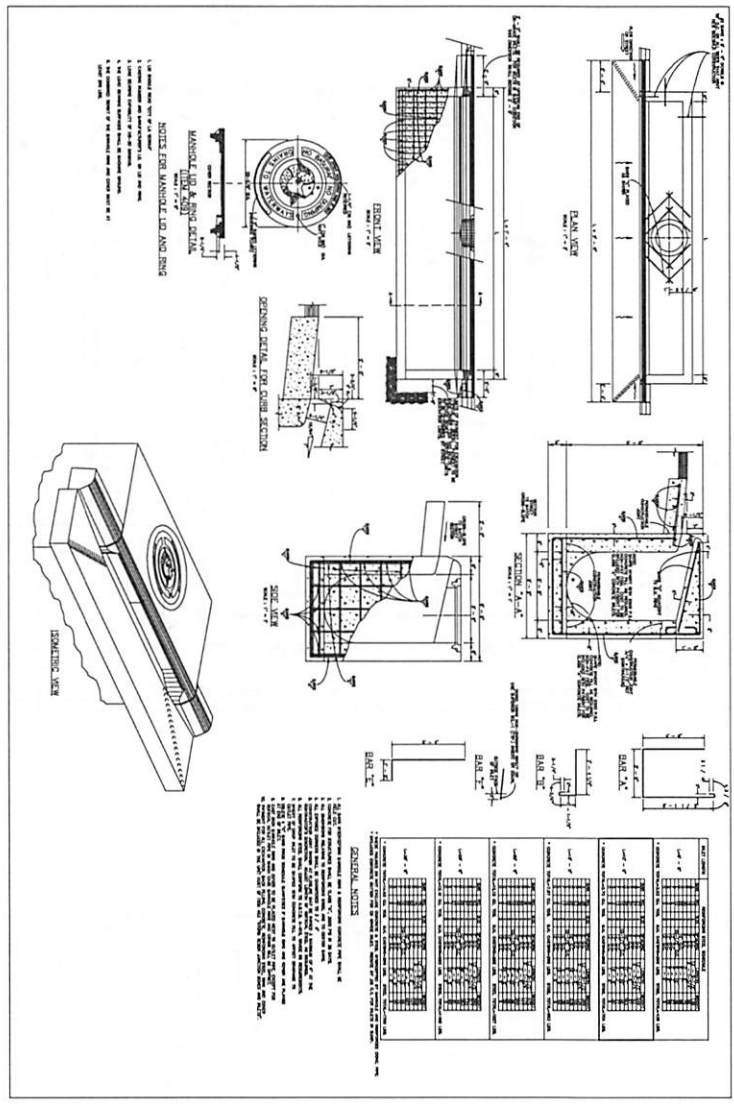
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GENERAL SPECIFICATIONS FOR SITE IMPROVEMENTS

GENERAL NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES.

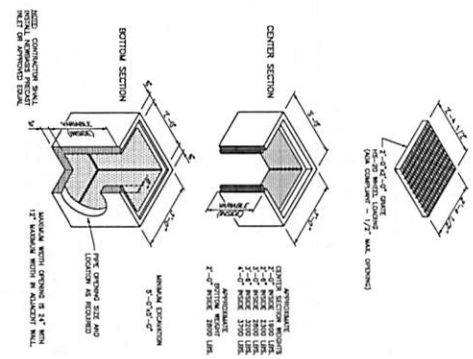
CONTRACTOR'S OBLIGATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AGENCIES.

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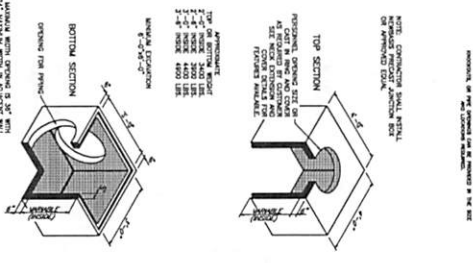


10-FT CURB INLET DETAIL
N.T.S.

2'-0"x2'-0" PRECAST
GRATE INLET DETAIL
N.T.S.



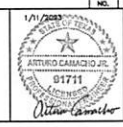
3'-0"x3'-0" JUNCTION BOX DETAIL
N.T.S.



DATE: 1/11/23
 DRAWN BY: P.A.K.
 DESIGNED BY: A.C.
 CHECKED BY: A.C.
 REVIEWED BY: A.C.
 PROJECT NUMBER: 22208A.01

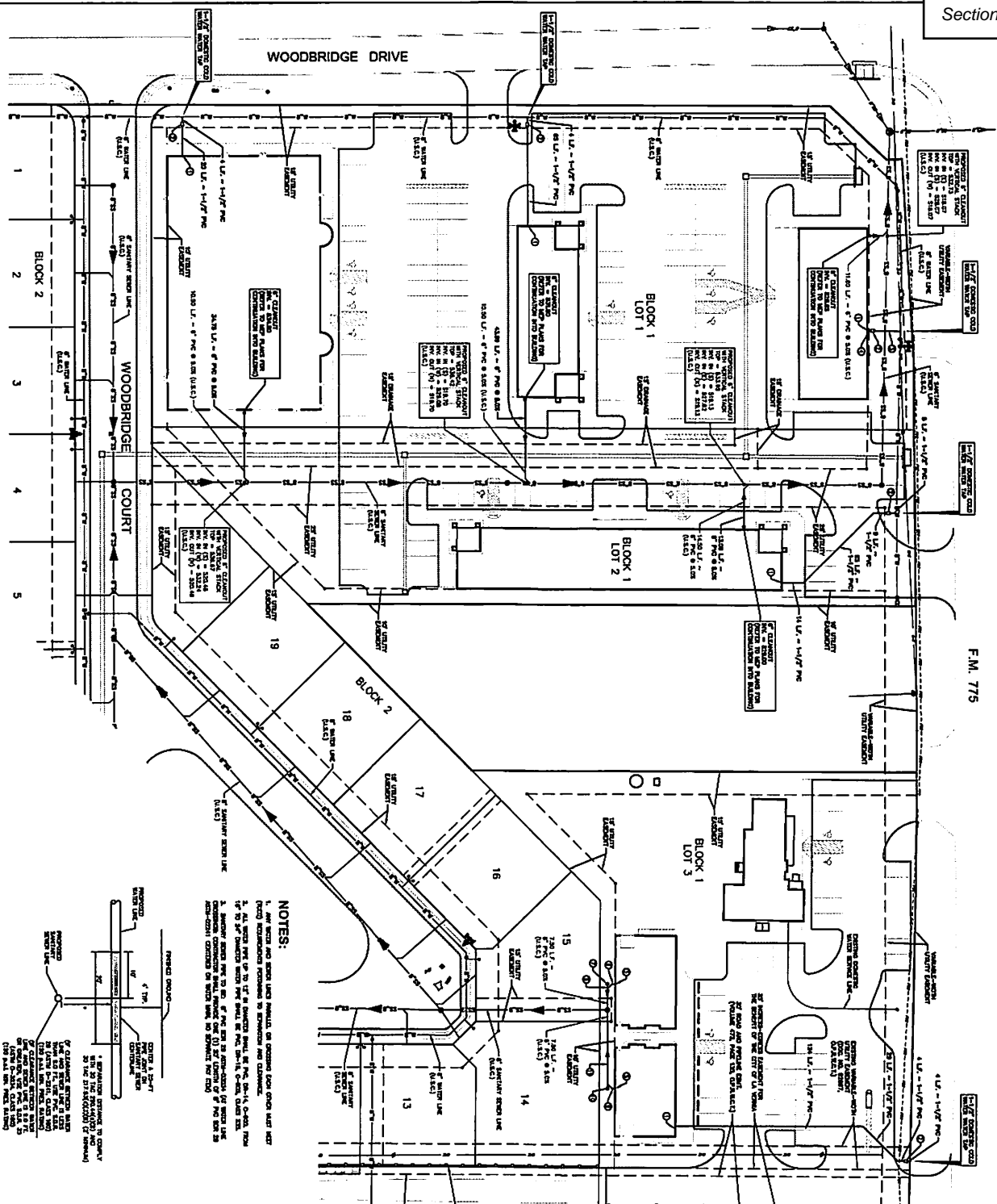
WOODBRIDGE COMMERCIAL
 MJS DEVELOPMENT, LLC
 4395 F.M. 775
 LA VERNIA TX 78121

GRADING AND DRAINAGE DETAILS



CH CAMACHO-HERNANDEZ & ASSOCIATES, LLC
 Engineering - Planning - Transportation - Related Services
 415 Embassy Oaks, Suite 205
 San Antonio, Texas 78216
 Phone: (210) 341-6200, Fax: (210) 341-6300
 TBPE Firm No. F-8478

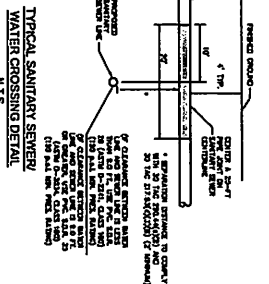
NO.	DATE	REVISION	BY



F.M. 775

NOTES:

1. ALL NOTES AND SPECIFICATIONS SHALL BE OBSERVED AND STRICTLY ADHERED TO.
2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS STATE ELECTRICAL, MECHANICAL, AND PLUMBING CODES.
3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS STATE ELECTRICAL, MECHANICAL, AND PLUMBING CODES.
4. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS STATE ELECTRICAL, MECHANICAL, AND PLUMBING CODES.



TYPICAL SANITARY SEWER WATER CROSSING DETAIL
M.S.S.

KEYED NOTES

1. 12" WATER MAIN
2. 12" SANITARY SEWER
3. 12" GAS MAIN
4. 12" TELEPHONE
5. 12" CABLE TV
6. 12" FIBER OPTIC
7. 12" RAINWATER
8. 12" STORMWATER
9. 12" FIRE MAIN
10. 12" SLOTTED DRAIN
11. 12" VALVE
12. 12" MANHOLE
13. 12" CATCH BASIN
14. 12" UTILITY STRUCTURE
15. 12" ELECTRICAL
16. 12" MECHANICAL
17. 12" PLUMBING
18. 12" HVAC
19. 12" ELEVATOR
20. 12" ESCALATOR
21. 12" STAIR
22. 12" ELEVATOR
23. 12" ESCALATOR
24. 12" STAIR
25. 12" ELEVATOR
26. 12" ESCALATOR
27. 12" STAIR
28. 12" ELEVATOR
29. 12" ESCALATOR
30. 12" STAIR

GAS LOCATOR

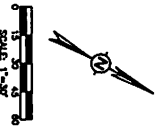
CALL FOR A GAS LOCATOR AT 1-800-368-8282. THE GAS LOCATOR WILL LOCATE ALL GAS LINES IN THE AREA. THE GAS LOCATOR WILL LOCATE ALL GAS LINES IN THE AREA. THE GAS LOCATOR WILL LOCATE ALL GAS LINES IN THE AREA.

TELEPHONE LOCATOR

CALL FOR A TELEPHONE LOCATOR AT 1-800-368-8282. THE TELEPHONE LOCATOR WILL LOCATE ALL TELEPHONE LINES IN THE AREA. THE TELEPHONE LOCATOR WILL LOCATE ALL TELEPHONE LINES IN THE AREA. THE TELEPHONE LOCATOR WILL LOCATE ALL TELEPHONE LINES IN THE AREA.

TRENCH EXCAVATION SAFETY PROTECTION

CONSTRUCTION AND/OR OPERATIONS SHOULD BE STOPPED IMMEDIATELY IF ANY UNUSUAL NOISES, VIBRATIONS, OR SETTLEMENTS ARE OBSERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



NO.	REVISION	DATE

WOODBRIDGE COMMERCIAL
MJS DEVELOPMENT, LLC
4395 F.M. 775
LA VERNIA TX 78121

OVERALL UTILITY LAYOUT



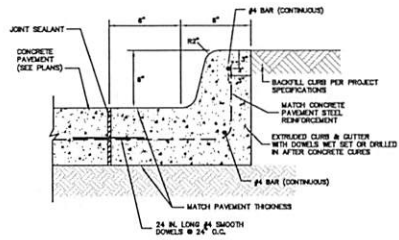
CAMACHO-HERNANDEZ & ASSOCIATES, LLC
Engineering • Surveying • Transportation • Related Services
415 Embassy Oaks, Suite 205
San Antonio, Texas 78216
Phone: (210) 341-6200, Fax: (210) 341-6300
TBPE Firm No. F-5478

SHEET
9
OF 11

CURB NOTES:

1. MATCH CONCRETE PAVEMENT CONSTRUCTION AND SAWCUT JOINT SPACING AND LOCATIONS.
2. CONSTRUCTION JOINTS: PLACE JOINTS AT LOCATIONS WHERE PLACEMENT OPERATIONS ARE STOPPED FOR A PERIOD OF MORE THAN 1/2 HOUR.
3. MATCH CONCRETE PAVEMENT - CONCRETE MIX DESIGN.

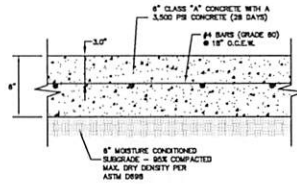
SEE GEOTECHNICAL ENGINEERING REPORT



6' CURB ABUTTING CONCRETE PAVEMENT DETAIL (ON-SITE)

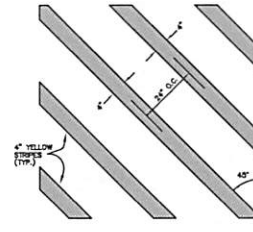
N.T.S.

SEE GEOTECHNICAL ENGINEERING REPORT



LIGHT DUTY CONCRETE PAVEMENT DETAIL (ON-SITE)

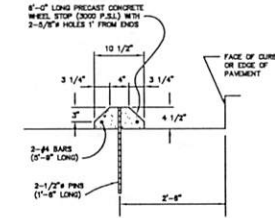
N.T.S.



- NOTES:
- 1) CONTRACTOR SHALL PAINT TRAFFIC MARKING AS PER DETAILS.
 - 2) ALL TRAFFIC MARKINGS SHALL BE SOLID REFLECTIVE TRAFFIC PAINT.
 - 3) ALL TRAFFIC MARKINGS SHALL BE PAINTED TWICE.

STRIPED ISLAND DETAIL

N.T.S.



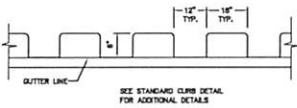
WHEELSTOP DETAIL

N.T.S.

NO.	DATE	REVISION

CH CAMACHO-HERNANDEZ & ASSOCIATES, LLC
 (Engineering + Planning + Transportation + Utility Services)
 4115 Embassy Oaks, Suite 205
 San Antonio, Texas 78216
 Phone: (214) 341-5414-4300
 TDD: (214) 341-5478

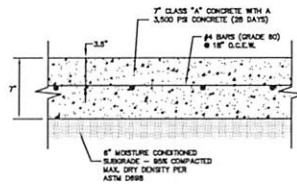
ATTEST: **CH**
 817111
 PROFESSIONAL ENGINEER
 STATE OF TEXAS



SAWTOOTH CURB DETAIL

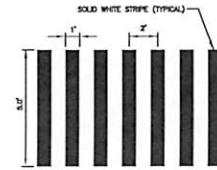
N.T.S.

SEE GEOTECHNICAL ENGINEERING REPORT



HEAVY DUTY CONCRETE PAVEMENT DETAIL (ON-SITE)

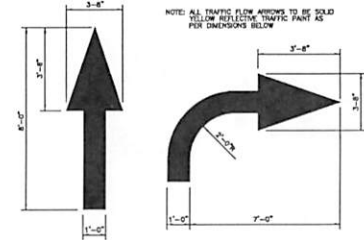
N.T.S.



- NOTES:
- 1) CONTRACTOR SHALL PAINT TRAFFIC MARKING AS PER DETAILS.
 - 2) ALL TRAFFIC MARKINGS SHALL BE SOLID REFLECTIVE TRAFFIC PAINT.
 - 3) ALL TRAFFIC MARKINGS SHALL BE PAINTED TWICE.

TYPICAL PEDESTRIAN CROSSWALK MARKING DETAIL

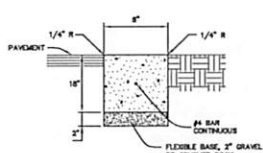
N.T.S.



- NOTES:
- 1) CONTRACTOR SHALL PAINT TRAFFIC MARKING AS PER DETAILS AND STRIPING PLAN.
 - 2) ALL TRAFFIC MARKINGS SHALL BE SOLID REFLECTIVE TRAFFIC PAINT.
 - 3) ALL TRAFFIC MARKINGS SHALL BE PAINTED TWICE.

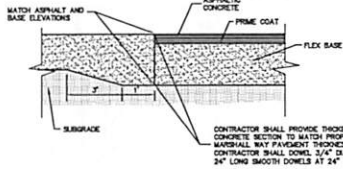
TRAFFIC FLOW ARROWS DETAIL

N.T.S.



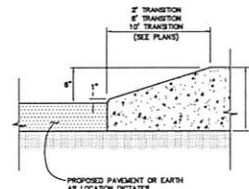
HEADER CURB DETAIL

N.T.S.



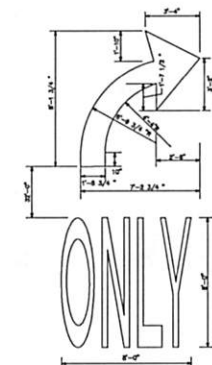
CONCRETE/ASPHALTIC CONCRETE JUNCTION DETAIL

N.T.S.



CURB TRANSITION DETAIL

N.T.S.



'ONLY' AND TURN ARROW DETAIL

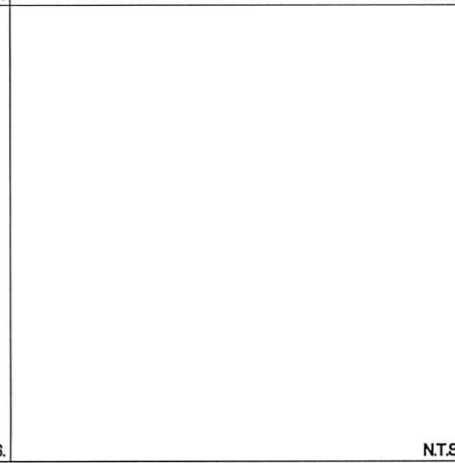
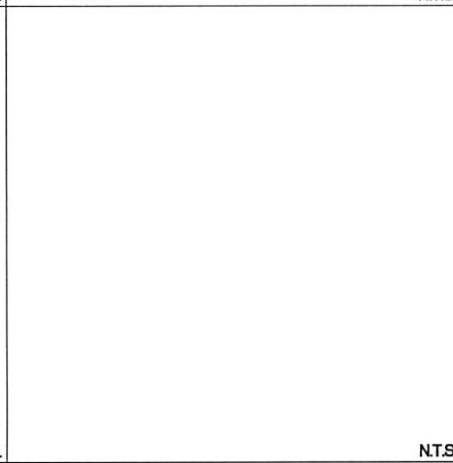
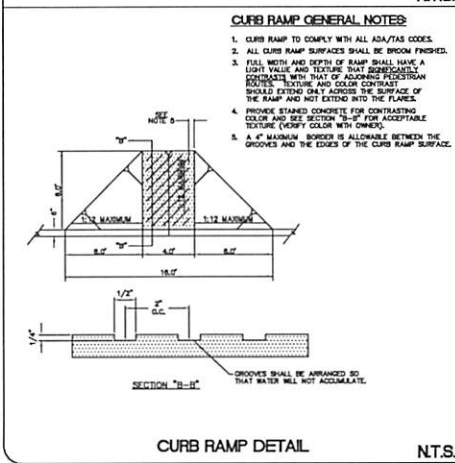
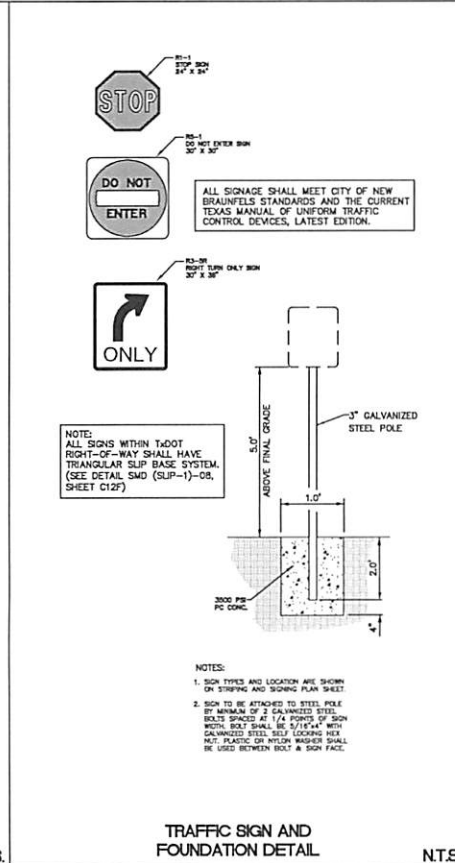
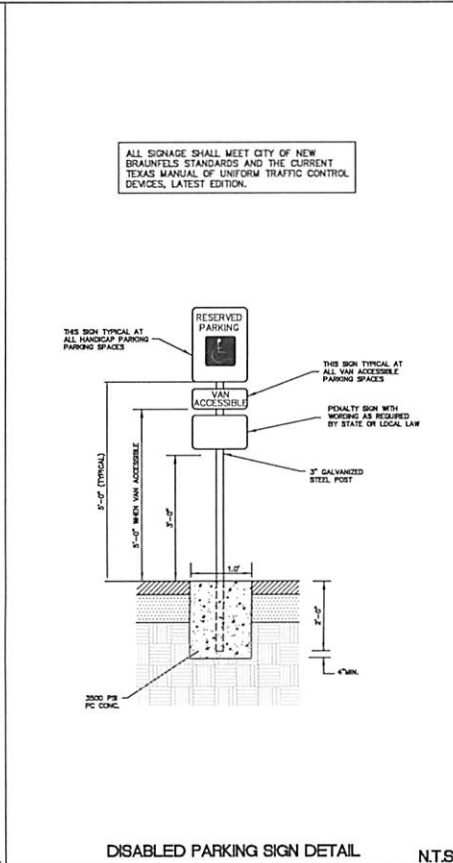
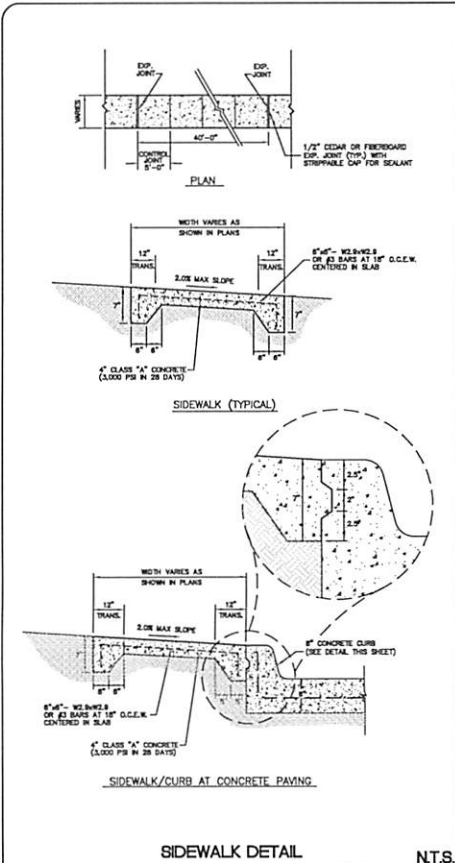
N.T.S.

WOODBRIDGE COMMERCIAL

MUS DEVELOPMENT, LLC
 4395 E.M. 775
 LA VERNIA, TX 78121

DATE: 1/11/23
 DRAWN BY: PAK
 DESIGNED BY: A.C.
 CHECKED BY: A.C.
 REVIEWED BY: A.C.
 PROJECT NUMBER: 22004021

SHEET 10 OF 11



NO.	DATE	REVISION	BY

CH CAMACHO-HERNANDEZ & ASSOCIATES, LLC
Engineering - Planning - Transportation - Utility Services
415 Embassy Oaks, Suite 205
Houston, Texas 77060
Phone: (713) 341-6200, F: (713) 341-6290
TIBPE Firm No. F-4478

ANTONIO CAMACHO-HERNANDEZ
REGISTERED PROFESSIONAL ENGINEER
NO. 91771
STATE OF TEXAS

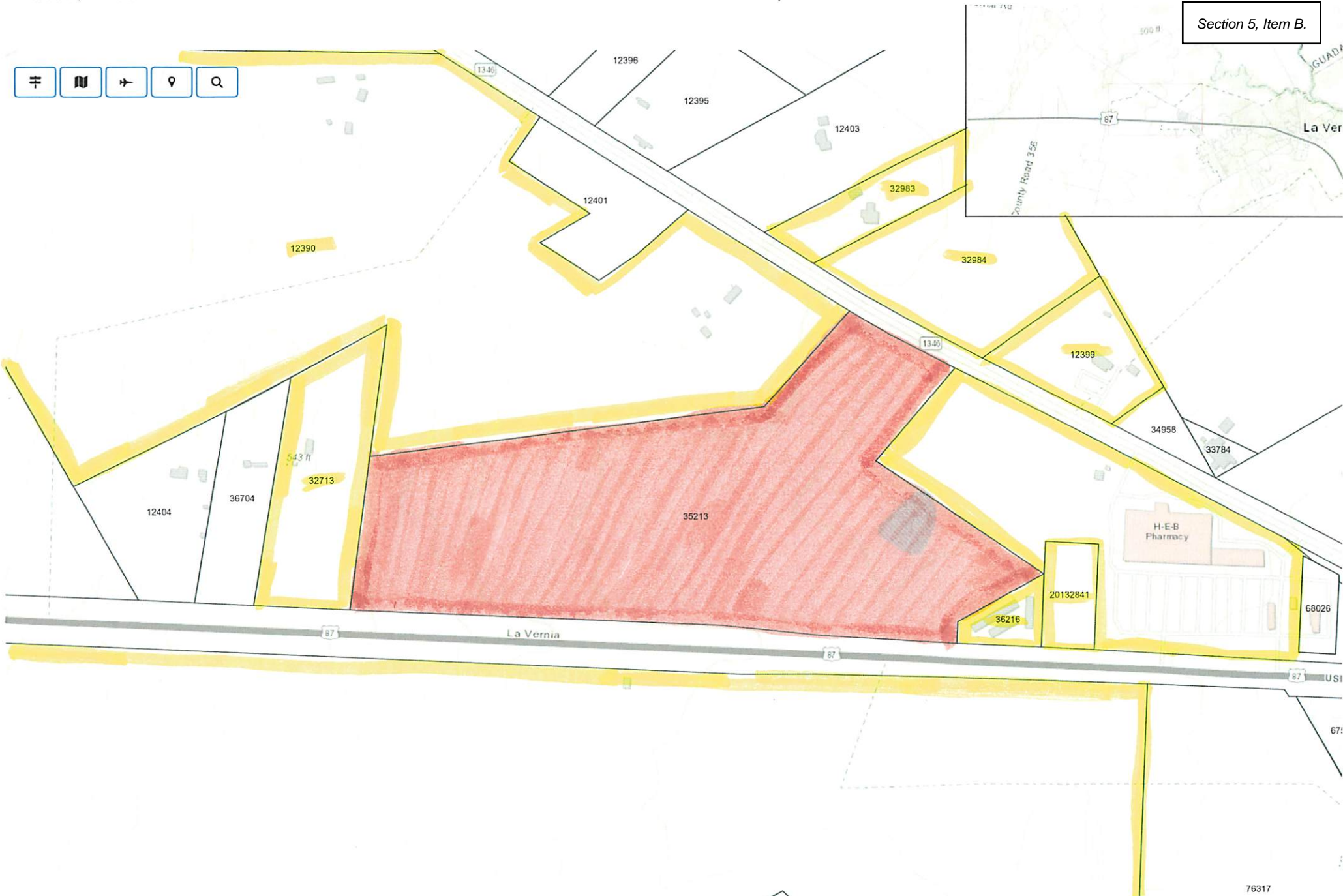
SITE DETAILS
(SHEET 2 OF 2)

WOODBRIDGE COMMERCIAL
MJS DEVELOPMENT, LLC
4395 F.M. 775
LA VERNIA, TX 78121


DATE: 1/17/23
DRAWN BY: P.A.
CHECKED BY: A.C.
REVIEWED BY: A.C.
PROJECT NUMBER: 2204041

SHEET 11
OF 11

Section 5, Item B.



 Property in question

 Property in Joint Agreement 31

LEGAL PUBLIC NOTICE

**NOTICE OF PUBLIC
PROPOSED CHANGE OF**

Section 5, Item B.

CT

CLASSIFICATION

LA VERNIA PLANNING AND ZONING
COMMISSION
AND LA VERNIA CITY COUNCIL

The La Vernia Planning and Zoning Commission will hold a public hearing on Tuesday, March 7th at 6:30 PM & City Council will hold a public hearing on Thursday, March 9th at 6:30 PM in the City Council Chambers located at 102 E. Chihuahua Street, La Vernia to receive public comment and testimony on the application to rezone the following four (1) property by property owner: Bonnie Chessher and potential partners NP Homes LLC

1.15010 US Hwy 87 W, La Vernia Texas 78121,
City of La Vernia, Lot 101B, Acres 46.6996

All property subject to the rezoning is located in Wilson County, Texas.

32

**From present classifications of C-2 General
Commercial to C-1 Commercial Retail**



NOTICE OF PUBLIC HEARING

The City of La Vernia Planning & Zoning Commission and the La Vernia City Council will hold a public hearing at the request of NP Homes regarding the space specifically known as:

15010 US HWY 87 W, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 101B, ACRES 46.6996, Owned by Bonnie Chessher

Request: A Re-zone from the existing zoning of c2- General Commercial to C-1 Retail district

Because your property is located within 200 feet of the request, State Law requires that we notify you of the public hearing. However, the zoning of your property will not be affected. The public hearing process allows an opportunity to provide your written opinion of the request. This will aid the Planning Commission in making a recommendation to City Council.

A public hearing for this request is scheduled before the Planning & Zoning Commission on Tuesday, March 7th, 2023 at 6:30 PM and City Council on Thursday, March 9th, 2023 at 6:30 PM. Both meetings will be held at 102 E. Chihuahua St., Council Chambers, and are open to the public. To submit written comments please complete the information below, including your signature, and return to:

Mail: City of La Vernia
Lindsey Wheeler
PO Box 225
La Vernia, Texas 78121

Email: Lboyd@lavernia-tx.gov

If you have questions, please call Lindsey Wheeler at (830) 779-4541 ext. 3.

Lindsey Wheeler, City Secretary

YOUR OPINION MATTERS – DETACH AND RETURN

circle one

I am (in favor) (opposed) to the proposed Re-zone from the existing zoning of c2- General Commercial to C-1 Retail district for the property described as 15010 US HWY 87 W, LA VERNIA, TEXAS 78121 legally known as CITY OF LA VERNIA, LOT 101B, ACRES 46.6996, Owned by Bonnie Chessher

Name: _____

Address: _____

Signature: _____

Date: _____

Comments: _____

By State Law – Unsigned submission cannot be counted as official comment.

Date Received _____

Payment _____

PETITION FOR VARIANCE
La Vernia Zoning Board of Adjustment

Date 2/10/2023

I (we) the undersigned, having an interest in property located at _____
15010 US Hwy 87 W, La Vernia, TX 78121 Zoning C-1*

*PENDING
ZONE
CHANGE
REQUEST

Subdivision _____ Lot _____ Block _____ Prop ID No. 35213

Property Owner Name Bonnie Chessher

Phone _____ Cell _____

Mailing Address 21911 Ranier Ln, San Antonio, TX 78260-3525 State TX Zip 78140

respectfully request that I (we) be granted the following variance(s) to the regulations established by the Zoning Ordinance of the City of La Vernia, Texas (Mark "X" where applicable):

- () Permit a change of occupancy from one non-conforming use to another non-conforming use permitted in the same or higher (more restricted) zoning classification as the original non-conforming use. NOTE: Prior to application or relief by the Board, there shall be in force a valid "Certificate of Occupancy and Compliance."
- () Permit the reconstruction, extension, or enlargement of a building occupied by a non-conforming use on the lot or tract occupied by such building, subject to such building modification not preventing the return of the subject property to a conforming use. Refer to above "NOTE".
- Permit the modification of the height, () yard, () area, () coverage and/or parking regulations as are necessary to secure appropriate development of the subject parcel.

The variance requested being more particularly the Board's consideration for relief from Ordinance No. 071212-02, Article Chpt 38 Art. II, Section 208; to permit a maximum height of 45 feet (compared to the 30 feet currently allowed for C-1 zoning); 1.5 parking spaces per unit (opposed to 1.5 spaces per bedroom currently allowed for C-1 zoning)

The petitioner will provide a building plan, sketch, plat and/or survey for the purpose of clearly and accurately depicting the type and extent of relief being sought.

Explain how the hardship is not contrary to the public interest and due to special conditions, a literal enforcement of the ordinance would result in unnecessary hardship, and that the spirit of the ordinance is observed and substantial justice is done: _____

To provide an economically viable multi-family development, the height must allow for a three story structure and parking minimums at 1.5 spaces per unit

Nader Karimi
Nader Karimi, President
Signature of Petitioner

NP Homes LLC
Authorized Agent
Property Owner(s) of Record or Authorized Agent

Date Received _____
Permit/Receipt No. _____
Fee Paid _____

City of La Vernia
Zoning Change Application
102 E. Chihuahua Street
P.O. Box 225, La Vernia, TX 78121
(830) 779-4541 • Metro/Fax (830) 253-1198



Land ownership must be verified with a notarized statement. If the applicant is acting as the agent for the property owner, the property owner must provide a signed and notarized letter authorizing the agent to act on their behalf, and the letter must accompany the application.

Name NP Homes LLC, A Texas Limited Liability Company

Mailing Address 21911 Ranier Ln, San Antonio, TX 78260-3525

Telephone 361-688-9382 Fax _____ Mobile _____ Email nphomes@aol.com

Property Address/Location 15010 US Hwy 87 W, La Vernia, TX 78121

Legal Description
Name of Subdivision CITY OF LA VERNIA, LOT 101B, ACRES 46.6996

Lot(s) _____ Block(s) _____ Acreage 46.6996

Existing Use of Property Agriculture/Vacant

Proposed Use of Property (attach additional or supporting information if necessary) SFR, MF, Commercial

Zoning Change Request: Current Zoning C-2 "General Commercial" Proposed Zoning C-1 "General Retail"

If "PDD Planned Development District", check if: Concept Plan _____ or Detail Plan _____

Reason for request (please explain in detail and attach additional pages if needed) To accommodate SFR, MF, and Retail

Attachments:

- Accurate metes and bounds description of the subject property (or other suitable legal description)
- Survey exhibit and other appropriate exhibits as deemed necessary by the city including, but not limited to, site plans, maps, architectural elevations, and information about proposed uses.
- Notarized statement verifying land ownership and if applicable, authorization of land owner's agent to file the zoning change request.

A denied application is ineligible for reconsideration for one year.

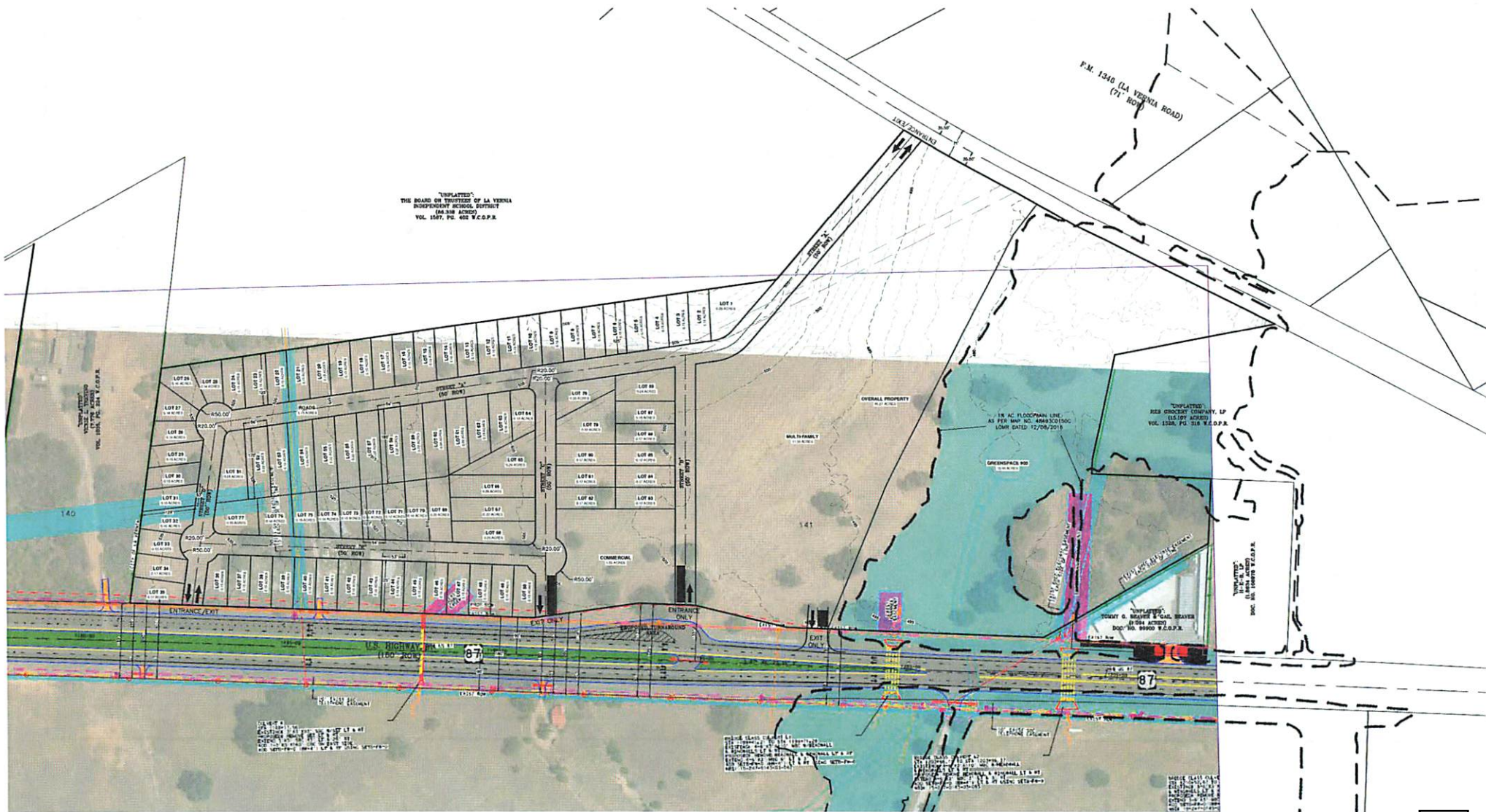
The undersigned hereby requests rezoning of the above described property as indicated:

 Nader Karimi 02/10/23 2/10/2023
Signature of Owner(s)/Agent Date

For Office Use Only	
Date of Publication _____	Date of P&Z Public Hearing _____
Date of 200 Ft Notices _____	Date of Council Public Hearing _____
Ordinance No. <u>071212-02</u>	Approved _____ Denied _____

- TOTAL LOTS: 46.27 OVERALL ACRES**
- 88 RESIDENTIAL LOTS, ~15.31 ACRES
 - 1 COMMERCIAL LOTS, ~1.55 ACRES
 - 1 GREENSPACE AREA, ~12.93 ACRES
 - 1 MULTI-FAMILY LOT, ~11.38 ACRES

- **TOTAL ROADS: 5.10 ACRES, 4,406.88 LF, 5 STREETS**
- STREET "A" - ~1,934.64 LF
- STREET "B" - ~ 605.23 LF
- STREET "C" - ~583.01 LF
- STREET "D" - ~445.24 LF
- STREET "E" - ~838.76 LF



CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	318.18'	5764.70	003°09'45"	S61° 04' 09"E	318.14'

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	318.08'	5764.70	003°09'41"	S59° 35' 07"E	318.03'

LINE #	BEARING	DISTANCE
L1	S60° 36' 25"E	153.61'
L2	S12° 12' 41"W	259.13'
L3	S02° 26' 10"W	35.24'
L4	S87° 48' 22"E	292.56'
L5	S02° 20' 10"W	156.74'

LINE #	BEARING	DISTANCE
L1	S59° 09' 17"E	153.62'



- LEGEND:**
- BOUNDARY LINE
 - - - ADJOINER LINE
 - SURVEY LINE
 - FENCE
 - BURIED PIPELINE
 - OVERHEAD ELECTRIC LINE
 - TRANSMISSION LINE
 - WATER LINE
 - P.U.E. - PUBLIC UTILITY EASEMENT
 - B.L. - BUILDING SETBACK LINE
 - U.D.E. - UTILITY, DRAINAGE, AND EMBANKMENT/BACKSLOPE EASEMENT
 - (BRC.-DIST.) RECORD CALL
 - xxx/xxx VOLUME/PAGE
 - W.C.P.R. - WILSON COUNTY PLAT RECORDS
 - W.C.D.R. - WILSON COUNTY DEED RECORDS
 - W.C.O.P.R. - WILSON COUNTY OFFICIAL PUBLIC RECORDS
 - W.C.R.P.R. - WILSON COUNTY REAL PROPERTY RECORDS
 - POINT
 - 1/2" IRON ROD FOUND
 - 1/2" IRON ROD SET
 - △ 120D NAIL FOUND
 - ☆ IRON PIPE FOUND
 - ⊕ NAIL SET
 - ⊕ 3/8" IRON ROD FOUND
 - ⊕ PIPE FENCE CORNER POST FOUND
 - ⊕ WOOD FENCE CORNER POST FOUND
 - ⊕ AS MARKED
 - ⊕ A/C
 - ⊕ UTILITY POLE
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ SEPTIC
 - ⊕ GAS METER
 - ⊕ WATER WELL
 - ⊕ TRANSMISSION POLE
 - ⊕ FIRE HYDRANT
- FILE: 2022\BOUNDARY\WILSON\22-1168 15010 Hwy 87

(N 09°20'01" E 573.09')
 (N 07°51'02" E 573.13')
 (7.776 ACRES)
 1035/224 W.C.O.P.R.

(86.338 ACRES)
 1567/402 W.C.O.P.R.

(N 83°15'10" E 1504.77')
 (N 81°48'24" E 1504.70')

GUADALUPE VALLEY ELECTRIC COOPERATIVE
 (15' RIGHT OF WAY EASEMENT)
 2014/290 W.C.O.P.R.

46.66 ACRES
 RESIDUAL OF:
 (52.404 ACRES)
 985/738 W.C.O.P.R.

GUADALUPE VALLEY ELECTRIC COOPERATIVE
 (30' RIGHT OF WAY EASEMENT)
 2014/290 W.C.O.P.R.

GUADALUPE VALLEY ELECTRIC COOPERATIVE
 (15' RIGHT OF WAY EASEMENT)
 2014/290 W.C.O.P.R.

(15.107)
 1528/316 W.C.O.P.R.

(1.8634 ACRES)
 W.C.O.P.R.
 DOC# 108978

(1.094 ACRES)
 W.C.O.P.R.
 DOC# 99900

(N 87°50'21" W 2217.72')
 (N 86°23'00" W 2218.74')
 U.S. HIGHWAY NO. 87

FRANCISCO HERRERA SURVEY NO. 6
 A-15

FARM TO MARKET HIGHWAY NO. 1346
 (S 62°39'43" E)
 (S 64°06'41" E) 548.12'

400.02'
 S 79°05'03" W

L2
 L3
 L4
 L5

461.56'
 (S 61°48'42" W)

INTREPID
 SURVEYING & ENGINEERING
 P.O. Box 519 • 1004 C Street
 FLORESVILLE, TX 78114
 O. 830.393.8833 • F. 830.393.3388
 WWW.INTREPIDTX.COM
 TBPLS #10193936 • TBP# 16550

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY DESCRIBED HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AT THE TIME OF THIS SURVEY, AND THAT THERE ARE NO VISIBLE DISCREPANCIES, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, VISIBLE ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY HAS VISIBLE ACCESS TO AND FROM A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

12/05/2022
 REGISTERED PROFESSIONAL LAND SURVEYOR

NOTE:
 1. AS PER INFORMATION PROVIDED IN GF# SCT-48-4300112206980-DB THIS PROPERTY IS SUBJECT TO:
 RESTRICTIVE COVENANTS: N/A
 EASEMENTS: 2017/290 W.C.O.P.R.

0' 250' 500' 750'

NOTE:
 1. BEARINGS, DISTANCES & ACREAGE ARE GRID, NAD 83 US TX SOUTH CENTRAL ZONE AND ARE DERIVED FROM NORMAL GPS TECHNIQUES.
 2. UNDERGROUND SPRINKLER SYSTEMS, VALVES, BOXES AND/OR SPRINKLER HEADS THAT MAY OR MAY NOT EXIST ARE NOT SHOWN HEREON.
 3. IRON ROD SET ARE 1/2 INCH IRON REBAR WITH PLASTIC CAPS MARKED "INTREPID"
 4. A METES AND BOUNDS DESCRIPTION ACCOMPANIES THIS PLAT.

REFERENCE: BONNIE FERN GESSHER	
ADDRESS: 15010 U.S. HIGHWAY NO. 87	
LEGAL DESCRIPTION: BEING 46.66 ACRES OF LAND OUT OF THE FRANCISCO HERRERA SURVEY NO. 6, ABSTRACT NO. 15 WITHIN WILSON COUNTY, TEXAS.	
JOB NO. 22-1168	REV. 1
DRAWN BY: ALC	FIELD BOOK: 106/70



LEGAL DESCRIPTION: Being 46.66 acres of land out of the Francisco Herrera Survey No. 6, Abstract No. 15, Wilson County, Texas and also being the residual of that certain 52.404 acre tract described in Volume 985, Page 738 of the Official Public Records of Wilson County, Texas; Said 46.66 acre tract being more particularly described as follows and as surveyed under the supervision of Intrepid Surveying & Engineering Corporation in November, 2022:

BEGINNING at a 1/2 inch iron rod found in the north line of U.S. Highway No. 87 for the southeast corner of that certain 7.776 acre tract described in Volume 1035, Page 224 of said Official Public Records and the southwest corner hereof;

THENCE North 07°51'02" East a distance of 573.13 feet along the east line of said 7.776 acre tract to a 1/2 inch iron rod found for the southwest corner of that certain 86.338 acre tract described in Volume 1567, Page 402 of said Official Public Records and the northwest corner hereof;

THENCE along the common lines of said 86.338 acre tract, the following 2 courses:

1. North 81°48'24" East a distance of 1504.70 feet to a 1/2 inch iron rod found for an interior corner hereof;
2. North 40°19'07" East a distance of 475.57 feet to a 1/2 inch iron rod found in the southwest line of Farm to Market Highway No. 1346 for the north corner hereof;

THENCE along the common lines of Farm to Market Highway No. 1346, the following 3 courses:

1. Following a curve turning to left through an angle of 003°09'41", having a radius of 5764.70 feet, an arc length 318.18 feet and whose long chord bears South 61°04'09" East a distance of 318.14 feet to a 1/2 inch iron rod found for a northeast corner hereof;
2. South 60°36'25" East a distance of 153.61 feet to a 1/2 inch iron rod found for a northeast corner hereof;
3. South 64°06'41" East a distance of 548.12 feet to a 1/2 inch iron rod found for the north corner of that certain 15.107 acre tract described in Volume 1528, Page 316 of said Official Public Records and an east corner hereof;

THENCE along the common lines of said 15.107 acre tract, the following 4 courses:

1. South 79°05'03" West a distance of 400.02 feet to a 1/2 inch iron rod found for an interior corner hereof;
2. South 12°12'41" West a distance of 259.13 feet to a 1/2 inch iron rod found for a corner hereof;
3. South 02°26'10" West a distance of 35.24 feet to a 1/2 inch iron rod found for an interior corner hereof;
4. South 87°48'22" East a distance of 292.56 feet to a 1/2 inch iron rod found for the northwest corner of that certain 1.8634 acre tract described in Document No. 108978 of said Official Public Records and a northeast corner hereof;

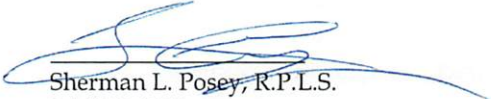
THENCE South 02°20'10" West a distance of 156.74 feet along the west line of said 1.8634 acre tract to a 1/2 inch iron rod found for the north corner of that certain 1.094 acre tract described in Document No. 99900 of said Official Public Records and a southeast corner hereof;

THENCE South 60°25'49" West a distance of 461.56 feet along the northwest line of said 1.094 acre tract to a 1/2 inch iron rod found in the north line of U.S. Highway No. 87 for the southwest corner of said 1.094 acre tract and the southeast corner hereof;

THENCE North 87°50'21" West a distance of 2217.72 feet along the north line of U.S. Highway No. 87 to the **POINT OF BEGINNING** containing 46.66 acres more or less, and as shown on certified plat herewith.

Note: Bearings, distances and acreage shown hereon are NAD 83, South Central Zone and are derived from GPS techniques. Iron Rods set are a 1/2 inch rod with plastic caps marked "INTREPID".

Surveyed by;


Sherman L. Posey, R.P.L.S.
Job# 22-1168.

November 10, 2022

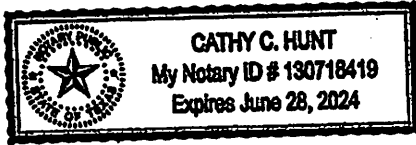
transaction conveying the property to NP Homes LLC, or assigns.

Further, the Affiant sayeth naught.

Bonnie Chessher
Bonnie Chessher

SUBSCRIBED AND SWORN TO BEFORE ME on this 6 day of Feb., 2023 by Bonnie Chessher.

[seal]



Cathy C. Hunt
NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

ORDINANCE NO. 030923-03

AN ORDINANCE OF THE CITY OF LA VERNIA, TEXAS AMENDING LA VERNIA CODE OF ORDINANCES CHAPTER 30 SUBDIVISIONS, ARTICLE III. – GENERAL PLATTING PROCEDURES; SECTION 30-301.- OVERALL DEVELOPMENT CONCEPT.; PROVIDING FOR SEVERABILITY; AND AN EFFECTIVE DATE.

WHEREAS, Chapter 216 of the Vernon’s Local Government Code empowers a city to enact zoning regulations and provide for their administration, enforcement and amendment; and

WHEREAS, the City has previously deemed it necessary and desirable to adopt sign regulations to provide for the orderly development of property within the City in order to promote the public health, safety, morals and general welfare of the residents of the City, and

WHEREAS, the City of La Vernia Code or Ordinances Chapter 30 which constitutes the City’s Subdivision Ordinance requires a property to be developed in accordance with proper designations as defined by this ordinance; and

WHEREAS, the City Council and Planning and Zoning Commission of the City of La Vernia has met and discussed amending the above-mentioned sections of the Subdivision code; and

WHEREAS, the Planning and Zoning Commission of the City of La Vernia has recommended approval of the amendments to the Subdivision Regulations discussed in this ordinance and the proposed amendments are uniform and conforms to the plan and design of the City of La Vernia’s Subdivision Ordinance; and

WHEREAS, the City Council of the City of La Vernia believes the amendments will comply with the standards and purpose of the Subdivision Ordinance and are in the best interests of the public safety and the general welfare of the residents of the City of La Vernia;

NOW THEREFORE: BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LA VERNIA, TEXAS:

**Section 1.
Sign Regulations Amended.**

CHAPTER 26-101.1.- DEFINITIONS; of the City of La Vernia’s Code of Ordinances is hereby amended as reflected in the document attached hereto as **Exhibit “A”**.

CHAPTER 26-110.- PERMITTING REGULATIONS of the City of La Vernia’s Code of Ordinances is hereby amended as reflected in the document attached hereto as **Exhibit “B”**.

CHAPTER 26-111.- PROHIBITED SIGN TYPES of the City of La Vernia’s Code of Ordinances is hereby amended as reflected in the document attached hereto as **Exhibit “C”**.

**Section 2.
Severability**

If any section, subsection, paragraph, or sentence, clause, phrase, or word in this Ordinance, or application thereof, to any person or circumstance is held invalid such holding shall not affect the validity of the remaining portions of the same and the City Council hereby declares it would have passed such remaining portions despite such invalidity.

**Section 3
Cumulative**

This ordinance is cumulative of all other laws addressing land use regulations and any prohibitions and sanctions that may be imposed under other laws relating to the subjects covered hereunder.

**Section 4.
Effective Date**

This ordinance shall take effect immediately from and after its passage and publication as may be required by governing law.

PASSED, APPROVED, AND ADOPTED THIS 17TH DAY OF NOVEMBER 2022.

Martin Poore, Mayor
City of La Vernia

ATTEST:

Lindsey Wheeler, City Secretary
City of La Vernia

Exhibit "A"

Sec. 30-301. - Overall development concept.

(a) Prior to the submission of a master plan or plat, all commercial developments, and all residential developments consisting of more than two units, the applicant or representative is required to present their proposal to the city. This presentation will be given at a mandatory scheduled pre-development meeting, at which the City Administrator, building, and code enforcement departments, local first responding fire, EMS, and police personnel, health departments, and any other departments or representatives deemed necessary by the City Administrator will be present. At said meeting, comments and advice on the procedures, specifications, and standards required in the local ordinances will be discussed.

(b) All persons desiring to subdivide land within the area of jurisdiction of this chapter shall first prepare and submit to the commission, not less than ten working days prior to any meeting at which the plat is to be considered, the following information:

(1) Five black line or blue line copies of an overall development concept encompassing all land owned by the subdivider. The overall concept shall be in compliance with all applicable provisions of this chapter.

(2) Two black line or blue line prints of the preliminary plans for the furnishing of water, the installation of sanitary sewer facilities, and provisions for storm sewers and general drainage facilities. Topographic contours with intervals of not more than ten feet shall be shown.

(3) A letter of transmittal giving the name and address of the owner or agent and the person or firm who prepared the plat concept.

(4) A certificate or letter from a title guaranty company or from an attorney duly licensed to practice law in the state, certifying the following concerning title to the land:

a. A statement of records examined and date of examination;

b. Description of the property in question by metes and bounds;

c. Name of the fee owner as of the date of examination and the date, file number, and volume and page of the recording of the deed involved;

d. The name of any lien holder together with the date of filing and volume and page of such lien; and

e. A general description of any easements or fee strips granted, along with the file number, date of filing, and volume and page of recording.

(5) A nonrefundable check payable to the city in the amount as specified within the fee schedule.

(6) In cases where public streets, alleys, or easements are proposed to be platted across private easement or fee strips, a copy of the instrument establishing such private easement or fee strip shall be submitted. Where a private easement has no defined location, agreement on a defined easement must be reached before submission of final plat.